

**DECLARATION OF ROAD CONSTRUCTION,
USE AND MAINTENANCE COVENANTS**

THIS DECLARATION OF ROAD CONSTRUCTION, USE AND MAINTENANCE COVENANTS ("Declaration") is made this 20~~th~~ day of February, 2015, by **DELAHAY FAMILY LIMITED PARTNERSHIP**, a Maryland limited partnership ("Declarant").

WHEREAS, the Declarant is the owner of all that property shown and depicted as Tax Parcel 49 on Talbot County Tax Map 48 situate, lying and being in the Third Election District of Talbot County, Maryland, containing 214.798 acres, more or less, and more particularly described in a Deed dated December 29, 1995, and recorded among the Land Records of Talbot County, Maryland in Liber 818, folio 951 (the "Property"); and

WHEREAS, the Declarant has subdivided the Property pursuant to a subdivision plat titled "Piney Point Farm Subdivision Plat, FCP #2011-11 and BMP #M1138 on the Lands of Delahay Family Limited Partnership", dated May 2, 2011, revised through January 19, 2015, consisting of Sheets 1 through 4, as prepared by Lane Engineering, LLC ("Plat"), and intended to be recorded among the Plat Records of Talbot County, Maryland simultaneously herewith; and

WHEREAS, the Declarant intends to construct a roadway known as "Piney Point Lane" (the "Roadway") to serve those portions of the Property shown and depicted on the Plat as Lots 1 through 4, inclusive (the "Lots"), and Remaining Lands, containing 173.433 acres, more or less (the "Remaining Lands Parcel"); and

WHEREAS, the Declarant hereby executes this Declaration to provide for the construction of the Roadway by the Declarant and for the use, maintenance and repair of the Roadway and to allocate the expenses for the construction and maintenance of the Roadway and all associated improvements to the current and future owners of the Lots and the Remaining Lands Parcel.

WITNESSETH:

ARTICLE I

PROPERTY SUBJECT TO DECLARATION

1. **Identification of Parcels.** The lots or parcels which are, and shall be held, conveyed, hypothecated or encumbered, sold, leased, rented, used, occupied and improved subject to this Declaration are located in Talbot County, Maryland, and are more particularly shown and depicted on the Plat as Lots 1 through 4, inclusive, and the Remaining Lands Parcel.

2. **Benefitted Parcels.** The term "Benefitted Parcel" shall be deemed initially to mean and refer to each of the lots or parcels more particularly shown and depicted on the Plat as Lots 1 through 4, inclusive, and the Remaining Lands Parcel. The term "Benefitted Parcel" shall be further deemed to include all subdivided portions, if any, of each lot or parcel described in this Paragraph 2.

and all subdivided portions, if any, of the Property, as may be created from time to time and whose future use of the Roadway shall have been approved by all applicable regulatory authorities for use as access to a parcel on which a residential structure may be constructed. Unless and until some portion of the Roadway shall have been improved to the public roadway specifications of Talbot County, Maryland and dedicated to Talbot County, Maryland as a public roadway, the total number of lot or parcels to be served by the Roadway and that may be created within the Property shall not exceed the maximum number of lots or parcels eligible to be served by a private roadway under the applicable Talbot County regulations in effect at the time of creation of any additional lots or parcels other than Lots 1 through 4 and the Remaining Lands Parcel described herein.

ARTICLE II

CONSTRUCTION OF THE ROADWAY

1. Roadway Construction Specifications.

(a) Prior to the issuance of a building permit for the construction of improvements on Lots 1, 2, 3 or 4, Declarant shall construct the Roadway in conformance with the specifications of Talbot County, Maryland as more particularly set forth on Exhibit A attached hereto.

(b) Declarant shall, at its expense, cause a registered surveyor licensed in the State of Maryland to complete the following:

(i) prior to the commencement of construction of the Roadway, the boundaries of the area comprising the Roadway shall be staked, and

(ii) within sixty (60) days following the completion of the Roadway, permanent boundary monuments depicting the area comprising the Roadway shall be installed.

(c) Declarant shall construct all roadside ditches and drainage swales in compliance with all applicable State and County stormwater management regulations and thereafter all such roadside ditches and drainage swales shall not be modified or obstructed without the prior authorization of the Talbot County Engineer.

(d) Declarant shall construct the Roadway in conformance with the specifications shown on Exhibit A attached hereto and consisting of fifty-nine (59) sheets prepared by Lane Engineering, LLC.

2. Construction Costs. All costs of construction to complete the Roadway and all associated improvements (such as culverts, swales and drainage ditches) in accordance with the specifications shown on Exhibit A shall be borne by the Declarant or by the Owners of Lots 1, 2, 3 and 4 as provided for in Paragraph 3 of this Article II.

3. Successor Obligations. Pursuant to this Article II, Declarant agrees to construct and complete the Roadway and to bear the cost of such construction activity; provided, however, that if

the roadway construction shall not have been completed at such time as Declarant no longer holds an interest in the Property, all remaining costs to construct or complete the Roadway shall be the obligation of and shall be borne in equal shares by the Owners of Lots 1, 2, 3 and 4.

4. **Building Permits.** Declarant, on behalf of itself, its successors and assigns, hereby acknowledges and agrees that building permits for improvements on Lots 1, 2, 3 and 4 shall not be issued by Talbot County, Maryland unless and until the Roadway shall have been completed in accordance with the plans and specifications described herein and certified as detailed in the Talbot County Roads Ordinance and on the Plat.

ARTICLE III

MAINTENANCE OF ROADWAY

1. **Roadway Maintenance Obligations.** Upon completion of construction of the Roadway, all drainage swales and all other swales and the Roadway shall thereafter be maintained in good order and repair by causing, as the need should arise:

(a) Any necessary repairs or replacement of materials required to keep the surface of the Roadway free of objectionable holes, ruts, bumps, subsidences and other defects which materially interfere with the safe and convenient passage of vehicular traffic thereover;

(b) Any repair or maintenance required to maintain the Roadway at the width and in the condition reflected on Exhibit A attached hereto including, but not limited to, maintenance of all stormwater management improvements in compliance with the approved stormwater management design reflected on Exhibit A attached hereto;

(c) Any necessary repairs or replacements necessary to maintain a vegetative ground cover within or over the entirety of any ditches or shoulders extending along both sides of the Roadway and constructed in conformance with the specifications shown on Exhibit A attached hereto, and to keep all such ditches free of debris, trash and accumulation of materials which would cause the Roadway to be flooded, undermined or otherwise damaged by water;

(d) Any necessary repairs required to maintain any culverts extending under the Roadway;

(e) The mowing and maintenance of the grass and plantings on either side of the Roadway (including the roadside ditches and shoulders extending along the Roadway) shall be shared by the owners of all of the Lots and the Remaining Lands Parcel as a community expense; provided, however, that if the owners the Lots and the Remaining Lands Parcel shall fail to mow or maintain the grass and plantings along the Roadway, the owner of the Remaining Lands Parcel shall have the right, but not the obligation, to complete any required mowing or maintenance activities along the Roadway and the owner of the Remaining Lands Parcel shall be entitled to reimbursement from the owners of the Lots served by the Roadway for any such work undertaken by the owner of the Remaining Lands Parcel;

(f) Any repair or maintenance required to maintain all roadside ditches and drainage swales in compliance with all applicable State and County stormwater management regulations, which such roadside ditches and drainage swales shall not be modified or obstructed without the prior authorization of the Talbot County Engineer; and

(g) The removal of snow and ice from any portion of the Roadway.

2. **Exclusions from Scope of Declaration.** As used in this Declaration and for purposes of allocation of expenses related to the Roadway, the term “maintenance” and “repairs” shall not include a rebuilding (unless required by ordinary wear and tear), realignment or widening of the Roadway, any upgrading of the surface of the Roadway in excess of the standards shown and depicted on Exhibit A attached hereto, or any improvement of the Roadway to meet the standards of the applicable governing jurisdiction for dedication of the Roadway to public use, it being intended that any such upgrades or improvements to the Roadway shall not be covered by, nor fall within, the scope of this Declaration.

3. **Expense Allocation.** The expenses incurred from time to time in connection with the maintenance and ordinary repairs of the Roadway as described herein shall be divided initially into five (5) shares and shall be allocated in equal shares to each of Lots 1 through 4 and the Remaining Lands Parcel described in Article I of this Declaration. Any extraordinary repairs shall be the responsibility of the owner of the property whose actions caused the necessity of such repairs as set forth in Paragraph 5 below.

4. **Liability for Ordinary Road Maintenance Expenses.** In accordance with the expense allocation provisions of Section 3 of this Article III, the owners of the Benefitted Parcels shall be responsible for a proportionate share of expenses incurred for the maintenance and repair of the Roadway and shall pay their proportionate share of expenses within thirty (30) days after the date of receipt of written notice of a determination pursuant to Section 6 of this Article III to undertake such maintenance and repairs and the amount of the charges incurred or proposed to be incurred therefor.

5. **Liability for Extraordinary Road Maintenance Expenses.** Notwithstanding any provision to the contrary contained in this Declaration, each owner of a Benefitted Parcel shall be liable for and shall pay the full cost of any repairs to the Roadway caused by the owner, its agents or contractors in connection with activities other than routine ingress and egress by passenger vehicles including, but not limited to, damage caused by construction vehicles and equipment, moving vans, delivery vehicles or farming and lawn maintenance equipment.

6. **Voting Rights.** All rights, powers, authorities and decisions (including, without limitation, the determination as to the need for and extent of the maintenance and repairs of the Roadway) created or exercised under the terms of this Declaration shall be exercised by a simple majority vote of the owners of the Benefitted Parcels, each such owner to be entitled to one (1) vote for each share of expenses that such owner is required to bear hereunder. In the event of any dispute or claim arising out of this Declaration that cannot be resolved by a majority vote of the owners of

the Benefitted Parcels, the owners of the Benefitted Parcels hereby agree, on behalf of themselves and on behalf of their respective successors in interest, to submit the claim or dispute to mediation through a mediator or mediation service as selected by the majority vote of the owners of the Benefitted Parcels. Unless otherwise agreed in writing by the parties, mediation fees, costs and expenses shall be divided and paid equally by the owners of the Benefitted Parcels. In the event that any dispute or claim arising out of this Declaration cannot be resolved by mediation as provided herein, then the matter shall be referred to arbitration under the provisions of the Maryland Uniform Arbitration Act.

ARTICLE IV

MISCELLANEOUS

1. **Termination or Amendment.** The provisions of this Declaration may be terminated or amended by a written agreement to terminate or amend signed by all of the then owners of the Property, approved by the County Engineer for Talbot County, Maryland, and recorded among the Land Records of Talbot County, Maryland; provided, however, that this Declaration shall automatically terminate, as to the applicable portion of the Roadway, upon the dedication to and acceptance by any public body of any portion of the Roadway for use and maintenance as a public road.

2. **Binding Effect.** The provisions hereof shall run with and bind the Property and shall inure to the benefit of, and may be enforced by the Declarant or any future owner of any lot or parcel which becomes subject to the provisions hereof.

3. **Acceptance.** Every person or other entity who now or hereafter owns or acquires any right, title or interest in or to any portion of any Benefitted Parcel is and shall be conclusively deemed to have consented and agreed to every restriction and covenant contained herein, whether or not any reference to this Declaration is contained in the instrument by which such person or entity acquired an interest in any Benefitted Parcel.

4. **Non-Liability.** Talbot County, Maryland shall have no obligation or responsibility for the construction, maintenance or safety of the Roadway, including any safety issues resulting from negligent or improper construction or maintenance of the Roadway.

5. **Applicable Law.** This Declaration shall be governed by and construed in accordance with the internal laws of the State of Maryland.



IN WITNESS WHEREOF, the Declarant has signed and sealed this Declaration the day and year first above written.

WITNESS: DELAHAY FAMILY LIMITED PARTNERSHIP,
a Maryland limited partnership

By: Cyclops Family, L.L.C., a Delaware limited liability company, General Partner

By: John E. Akridge, III and Sarah B. Akridge, as tenants by the entirety, Managing Member



C. Thomas Chapman



John E. Akridge, III, Managing Member (SEAL)



C. Thomas Chapman

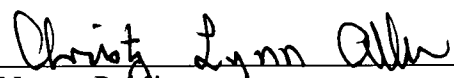


Sarah B. Akridge, Managing Member (SEAL)

STATE OF MARYLAND, COUNTY OF TALBOT, TO WIT:

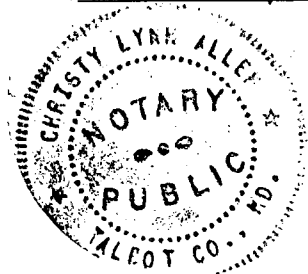
I HEREBY CERTIFY, that on this 20th day of February, 2015, before me, a Notary Public of said State, personally appeared JOHN E. AKRIDGE, III and SARAH B. AKRIDGE, who acknowledged themselves to be Managing Members of Cyclops Family, L.L.C., a Delaware limited liability company, General Partner of **DELAHAY FAMILY LIMITED PARTNERSHIP**, a Maryland limited partnership, and that they as such Managing Members, being authorized so to do, executed the foregoing instrument for the purposes therein contained, and further did certify the same to be the valid and proper act of said limited liability company as General Partner of Delahay Family Limited Partnership.

WITNESS my hand and Notarial Seal.



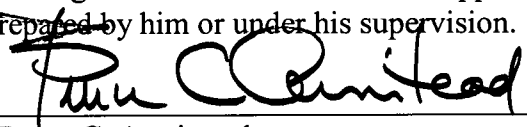
Notary Public

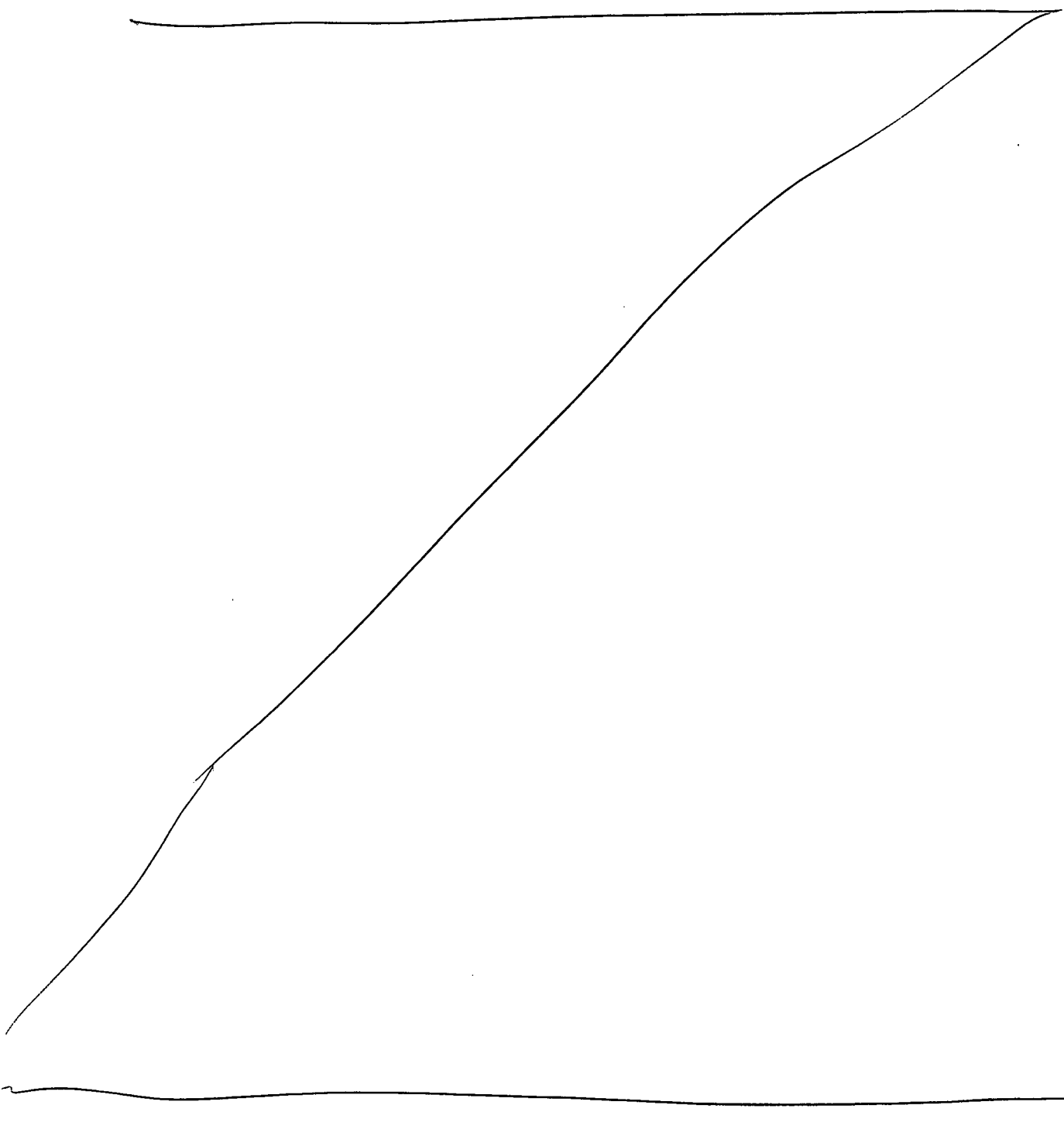
My Commission Expires:
10-31-16



TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0288, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

THE UNDERSIGNED, a member in good standing of the Bar of the Court of Appeals of Maryland, hereby certifies that this instrument was prepared by him or under his supervision.


Bruce C. Armistead

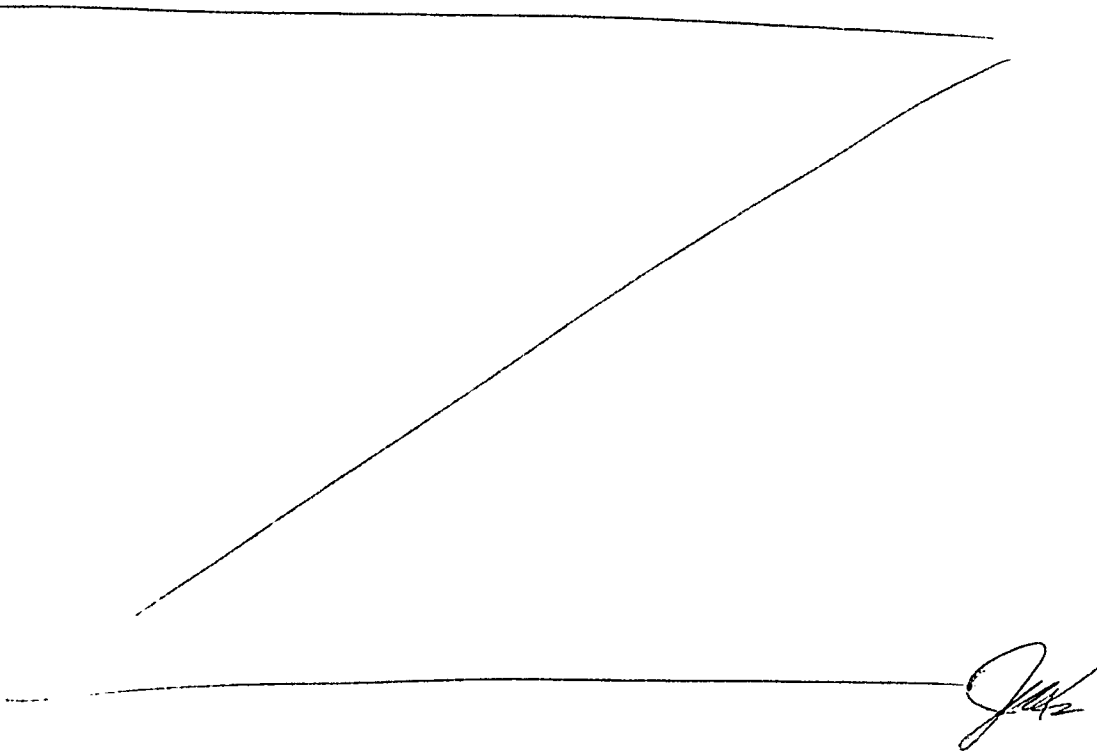


NOTE:


THESE PLANS, EDITED FOR SIZE AND GRAPHIC CLARITY, DEPICT ENGINEERING DESIGN SHOWN ON APPROVED PRIVATE ROAD CONSTRUCTION PLANS TITLED, "PRIVATE ROAD DESIGN FOR PINEY POINT FARM" IN THE THIRD ELECTION DISTRICT, TALBOT COUNTY, MARYLAND PREPARED BY LANE ENGINEERING, LLC WITH AN ORIGINAL DATE OF 07/13/12 AND REVISED THROUGH 12/18/14.

INDEX OF SHEETS

<u>SHEET No.</u>	<u>TITLE</u>
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10 - 11	SEDIMENT & EROSION CONTROL PLANS
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42 - 46	PINEY POINT LANE CROSS SECTIONS
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58 - 59	DETAILS



J. Lane

SHEET No. 1	INDEX SHEET EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: mail@lane.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095 © LANE ENGINEERING, LLC
DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	Date: 07/21/2015 - 5:00pm User: bmarvel Project Manager: WBS Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-GCS-PLTS-100237.dwg REF File(s): V:\BASE-100237\GCS-PLAN\1-BASE-100237	

LIBER 2279 FOLIO 290

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0290, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

PROJECT DATA

PROPERTY: TAX MAP 48, PARCEL 49
 PLAT: 82/320
 DEED: 818/951 & 1740/281
 ALMHOUSE ROAD
 OXFORD, MARYLAND 21654

OWNER: DELAHAY FAMILY LIMITED PARTNERSHIP
 C/O JOHN E. AKRIDGE, III
 28181 HARLEIGH LANE
 OXFORD, MARYLAND 21654
 (410) 820-7200

DEVELOPER:

ZONING: RC-RURAL CONSERVATION AND AC-AGRICULTURAL CONSERVATION

SITE AREA: 214.798 ACRES TOTAL

BUILDING RESTRICTIONS:	RC ZONING	AC ZONING (LOTS 2 ACRES OR LARGER)
FRONT SETBACK	= 50 FEET	= 50 FEET
SIDE SETBACK	= 50 FEET	= 50 FEET
REAR SETBACK	= 50 FEET	= 50 FEET
PERENNIAL STREAM	= 100 FEET	= 100 FEET
INTERMITTENT STREAM	= 100 FEET	= 50 FEET
TIDAL WETLANDS/MEAN HIGH WATER	= 200 FEET	=
NON-TIDAL WETLANDS	= 25 FEET	= 25 FEET
SEWAGE DISPOSAL AREA	= 20 FEET	= 20 FEET
MINIMUM LOT SIZE	= 2 ACRES	= 1 ACRE
MINIMUM LOT WIDTH	= 200 FEET	= 200 FEET

THE PORTION OF THE PROPERTY SHOWN HEREON IN FLOOD ZONE "AE" (EL 5.1) IS ESTIMATED TO HAVE A 1% ANNUAL CHANCE OF BEING INUNDATED BY A FLOOD AS SHOWN ON THE FEDERAL INSURANCE RATE MAPS COMMUNITY NO. 240066, PANEL NO. 24041C0304C FOR TALBOT COUNTY, MARYLAND. THEREFORE, ANY DEVELOPMENT, TO INCLUDE NEW CONSTRUCTION OR SUBSTANTIAL IMPROVEMENT ON THE PROPERTY WITHIN THE SPECIAL FLOOD HAZARD AREA IS SUBJECT TO FEDERAL, STATE AND LOCAL REGULATIONS WHICH MAY INCLUDE FLOOD INSURANCE IN ACCORDANCE WITH THE PROVISIONS OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, WASHINGTON, D.C.

FLOODPLAIN LEGEND

- A - 1% ANNUAL CHANCE FLOODPLAIN
- SHADED X - 0.2% ANNUAL CHANCE FLOODPLAIN
- OTHER X - AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

ALL FLOODPLAIN INFORMATION NOTED ON THIS PLAT REFLECTS THE STATUS PER THE FEMA FIRM MAP THAT IS EFFECTIVE AT THE TIME THAT THIS PLAT IS RECORDED. FLOODPLAIN STATUS IS SUBJECT TO CHANGE AS FEMA FIRM MAPS ARE UPDATED.

EXISTING CONDITIONS: UNDEVELOPED LOT IMPROVED WITH EXISTING AGRICULTURAL ACCESS ROAD. SEVERAL WILDLIFE IMPOUNDMENTS HAVE BEEN ESTABLISHED ON SITE.

PROPOSED DEVELOPMENT: PRIVATE ROAD DESIGN WITH IMPROVED DRAINAGE.

STORMWATER MANAGEMENT: PROVIDED ON SITE IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL, AS SUPPLEMENTED, AND THE TALBOT COUNTY STORMWATER MANAGEMENT ORDINANCE.

FOREST CONSERVATION: REFER TO THE FINAL "SUBDIVISION PLAT, FCP #2011-11 AND BMP #M1138 ON THE LANDS OF DELAHAY LIMITED PARTNERSHIP".

SPECIAL EXCEPTIONS/VARIANCES: N/A

PROJECT NOTES

EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
 Civil Engineers • Land Planning • Land Surveyors



E-mail: mail@leinc.com
 117 Bay St. Easton, MD 21601 (410) 822-8003
 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 2

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0291, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

PROJECT NOTES

1. THE PURPOSE OF THESE PLANS IS TO OBTAIN PLAN APPROVAL FOR THE CONSTRUCTION OF A PRIVATE ROAD WITHIN "PINEY POINT LANE", A 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT, FOR RESIDENTIAL ACCESS TO LOTS 1-4.
2. THE PROPERTY SHOWN HEREIN LIES PARTIALLY WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
3. PROPERTY BOUNDARY AND EXISTING CONDITIONS SURVEYED BY LANE ENGINEERING, LLC IN MARCH, 2012.
4. OVERALL SITE TOPOGRAPHY AS SHOWN HEREIN IS TAKEN FROM COUNTY DATA THAT HAS BEEN SUPPLEMENTED BY FIELD SURVEY DATA. THE EXTENT OF THE FIELD SURVEY (COMPLETED IN MARCH, 2012) INCLUDES APPROXIMATELY 50' EACH SIDE OF THE PROPOSED ROAD, CULVERT DISCHARGE AREAS REQUIRING GRADING, THE WILDLIFE IMPOUNDMENT AND BERM AREAS, AND APPROXIMATELY 700' OF ALMSHOUSE ROAD AND DITCHES.
5. VERTICAL DATUM IS NAVD 88. HORIZONTAL DATUM IS NAD 83.
6. STORMWATER QUANTITY AND QUALITY MANAGEMENT IS PROVIDED ON SITE AND IS IN ACCORDANCE WITH THE 2009 MARYLAND STORMWATER DESIGN MANUAL AS CURRENTLY UPDATED, THE CURRENT TALBOT COUNTY STORMWATER MANAGEMENT ORDINANCE AND THE TALBOT COUNTY STORMWATER MANAGEMENT PROCESS AND IMPLEMENTATION GUIDE.
7. THE SHORELINE DEVELOPMENT BUFFER IS LOCATED AND INDICATED 200' FROM MEAN HIGH WATER, THE LANDWARD EDGE OF TIDAL WETLANDS, AND 100' FROM THE TOP OF STREAM BANKS, AND HAS BEEN EXPANDED IN ACCORDANCE WITH §190-139 AND §190-140 OF THE TALBOT COUNTY CODE, AND COMAR 27.01.09.01.E.(7), AS SHOWN HEREON
8. DEVELOPMENT ACTIVITIES FOR NEW WATER-DEPENDENT FACILITIES SHALL BE DESIGNATED, STAGED AND TIMED TO AVOID SIGNIFICANT DISTURBANCE TO HISTORIC WATERFOWL STAGING AND CONCENTRATION AREAS DURING THE WINTER SEASON.
9. THE EXTENT OF DELMARVA FOX SQUIRREL HABITAT AREAS IS IN THE SOUTH EAST CORNER OF REMAINING LANDS PARCEL "A" AND WAS CONFIRMED BY MR. TREVOR CLARKE, U.S. FISH AND WILDLIFE SERVICE, ON DECEMBER 15, 2010.
10. THE TIDAL WETLANDS, NON-TIDAL WETLANDS, STREAMS AND AG DITCHES AS SHOWN HEREON WERE FIELD DELINEATED IN 2010/2011 BY SEAN CALLAHAN, A QUALIFIED PROFESSIONAL WITH LANE ENGINEERING, LLC AND FIELD VERIFIED APRIL 2011 WITH ALAN KAMPMEYER OF THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
11. THE WOODS LINE AS SHOWN HEREON WAS TAKEN FROM THE 2013 AERIAL IMAGERY OF TALBOT COUNTY, MARYLAND.
12. THE SOILS BOUNDARY LINES AS SHOWN HEREON WERE TAKEN FROM THE SOILS SURVEY FOR TALBOT COUNTY, MARYLAND.

LIBER 2279 FOLIO 292

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0292, MSA_CE91_2218, Date available 07/27/2015. Printed 04/27/2023.

FILE No. A295	JOB No. 100237	SCALE: AS NOTED	DATE: 12/18/2014	SHEET No. 3
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PROJECT NOTES

EXHIBIT A

**PRIVATE ROAD DESIGN FOR
PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
Civil Engineers • Land Planning • Land Surveyors



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354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

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GENERAL NOTES

1. THESE DRAWINGS SHOW INFORMATION FROM THE BEST AVAILABLE RECORDS REGARDING PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES AND CONDITIONS, WHICH EXIST ALONG THE LINE OF WORK, BOTH AT AND BELOW THE SURFACE OF THE GROUND. THE OWNER AND THE ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION WHICH IS SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR, WHO MUST VERIFY THE INFORMATION GIVEN TO HIS OWN SATISFACTION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE CONTRACTOR SHALL SUPPORT AND PROTECT ALL PIPES, CONDUITS, TELEPHONE LINES AND OTHER STRUCTURES. SHOULD ANY DAMAGE OCCUR TO UTILITIES, IT SHALL BE REPAIRED SOLELY AT THE CONTRACTOR'S EXPENSE.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION AND TESTING SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, LOCAL BUILDING CODES, AND THE STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS AND UTILITY CONSTRUCTION IN TALBOT COUNTY, MARYLAND ADOPTED BY RESOLUTION NO. 655, OR LATEST VERSION.
3. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL COORDINATE ALL CONSTRUCTION PHASES WITH THEM

MARYLAND DEPARTMENT OF THE ENVIRONMENT	(410) 901-4020
TALBOT COUNTY SOIL CONSERVATION DISTRICT	(410) 822-1577
TALBOT COUNTY DPW	(410) 770-8170
LANE ENGINEERING, LLC	(410) 822-8003

4. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS.
5. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION AND DEDICATION OF ALL EASEMENTS, BOTH TEMPORARY AND PERMANENT.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
7. ALL CONCRETE USED FOR MISCELLANEOUS UTILITY WORK SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL CONCRETE USED FOR CURB, GUTTER AND SIDEWALK SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE SHALL BE MANUFACTURED AND DELIVERED BY STATE CERTIFIED MANUFACTURES. ALL CONCRETE SHALL BE HANDLED AND PLACED ACCORDING TO ACI STANDARDS
8. TRENCHES SHALL NOT REMAIN OPEN OVERNIGHT.
9. SHOP DRAWINGS FOR ALL MATERIALS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
10. ALL UTILITY SYSTEMS MUST BE INSPECTED AND APPROVED BY TALBOT COUNTY OR ITS AUTHORIZED REPRESENTATIVE.
11. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF REDLINED AND ELECTRICAL VERSIONS OF AS-BUILT DRAWINGS TO TALBOT COUNTY DEPARTMENT OF PUBLIC WORKS. UTILITIES SHALL BE SURVEY LOCATED AND CERTIFIED BY THE ENGINEER. ANY CHANGES FROM THE APPROVED DRAWINGS REGARDING THE WATER SYSTEM, SANITARY SEWER, STORM SEWER, AND ROADWAYS SHALL BE DOCUMENTED WITH A RED INK PEN ON A CLEAN SET OF DRAWINGS. ALL SERVICE LATERAL LOCATIONS, WATER, SEWER, AND GAS, IF APPLICABLE, SHALL BE MARKED ON DRAWINGS IN A NEAT, ACCURATE AND DISCERNIBLE MANNER. APPROVAL OF INFRASTRUCTURE WILL NOT BE GRANTED UNTIL MARKED AS-BUILT AND ELECTRONIC AS-BUILT HAVE BEEN RECEIVED BY TALBOT COUNTY. COORDINATE AND REVIEW ALL CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION.
12. THERE SHALL NOT BE ANY PIPE OR DUCT BACK-FILLED UNTIL INSPECTED AND APPROVED BY TALBOT COUNTY OR ITS AUTHORIZED REPRESENTATIVE.
13. ALL ELECTRIC, CATV AND/OR TELEPHONE CONDUITS SHALL HAVE 48" MINIMUM COVER.

LIBER 279 FOLIO 293

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 4

PROJECT NOTES

EXHIBIT A

PRIVATE ROAD DESIGN FOR

PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

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 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095


TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0293, MSA_CE91_2218, Date available 07/27/2015. Printed 04/27/2023.

14. CONTRACTOR SHALL COORDINATE WITH TALBOT COUNTY FOR ALL REQUIRED INFRASTRUCTURE INSPECTIONS PRIOR TO CONTINUING WORK. ALL WORK MUST BE INSPECTED AND APPROVED PRIOR TO CONTINUING CONSTRUCTION. ADDITIONAL TESTING OF ANY UTILITY OR INFRASTRUCTURE IMPROVEMENT MAY BE ORDERED WHEN DEEMED NECESSARY BY TALBOT COUNTY.
15. ALL SOILS IN THE RIGHT OF WAYS AND STRUCTURAL FILL AREAS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D-1557 OR ASTM D-2922.
16. PROVIDE LIFT HOOKS IN UNEXPOSED SURFACES TO ACCOMMODATE FIELD PLACEMENT OF VAULTS AND MANHOLES.
17. CONTRACTOR SHALL BE PRE-APPROVED BY TALBOT COUNTY.
18. ALL CONSTRUCTION ON OR OFF-SITE SHALL BE MARKED FOR TRAFFIC AND PEDESTRIAN SAFETY. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". TRAFFIC CONTROL PLANS SHALL BE APPROVED BY TALBOT COUNTY PRIOR TO USE.
19. CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT EXISTING PROPERTY CORNERS AND OTHER PROPERTY MONUMENTS. ANY DAMAGE TO, OR SHIFTING OF PROPERTY MARKERS WILL REQUIRE THEM TO BE REPLACED AT THE CONTRACTORS EXPENSE AND BY A MARYLAND LICENSED SURVEYOR.
20. CONTRACTOR SHALL COORDINATE WITH UTILITY SERVICE PROVIDERS FOR INSTALLATION OF ALL ELECTRIC, PHONE, CATV, GAS AND OTHER UTILITY SYSTEMS.
21. CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL SAFETY RELATED ISSUES ON SITE AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS AS WELL AS BY PRUDENT SITE MANAGEMENT PROTOCOL.
22. CONTRACTOR SHALL NOT COMMENCE ANY PORTION OF THE WORK WITHOUT VERIFYING AND RECEIVING COPIES OF ALL REQUIRED PERMITS FROM TALBOT COUNTY OR THE ENGINEER.
23. CONTRACTOR SHALL TAKE CARE TO WORK ONLY WITHIN THE CONSTRUCTION LIMITS OF DISTURBANCE, PROPERTY LINES AND EASEMENT AREAS. ANY ACCIDENTAL OR UNAUTHORIZED DISTURBANCE TO OFF-SITE IMPROVEMENTS OR PROPERTIES SHALL BE REPAIRED/REPLACED SOLELY AT CONTRACTOR'S EXPENSE.
24. ANY OFF-SITE CONSTRUCTION SHALL BE COORDINATED THROUGH TALBOT COUNTY PRIOR TO STARTING WORK.
25. PROJECT SPECIFIC PERMITS AS REQUIRED FOR ON-SITE CONSTRUCTION SHALL BE OBTAINED BY THE OWNER. PERMITS INCLUDE SOIL EROSION AND SEDIMENT CONTROL, STORMWATER MANAGEMENT, GRADING, STATE HIGHWAY ADMINISTRATION ACCESS, MDE-NOI AND MDE-WMA.
26. TALBOT COUNTY OR ITS AUTHORIZED REPRESENTATIVE, RETAINS THE RIGHT TO INSTRUCT, INFORM AND DIRECT ANY PORTION OF THE WORK FOR ANY REASON IT DEEMS APPROPRIATE. TALBOT COUNTY ALSO RESERVES THE RIGHT TO STOP WORK FOR ANY SAFETY, NONCOMPLIANCE, NON-APPROVAL, NOISE, DUST OR OTHER ISSUE DEEMED APPROPRIATE BY TALBOT COUNTY. THE CONTRACTOR SHALL HAVE NO RECOURSE AGAINST TALBOT COUNTY REGARDING SUCH ACTIONS.
27. THE PROVISIONS OF THE PUBLIC WORKS AGREEMENT AND THE DEVELOPERS RIGHTS AND RESPONSIBILITIES AGREEMENT, AS RECORDED AMONG THE LAND RECORD OF TALBOT COUNTY, MARYLAND ARE HEREBY INCORPORATED BY REFERENCE, AS THEY RELATE TO SUBDIVISION CONSTRUCTION.

LIBER 2279 FOLIO 294

WATER AND SEWER SYSTEMS

1. WATER AND SEWER SYSTEMS ARE NOT INCLUDED WITHIN THE SCOPE OF THESE PLANS.
2. EACH LOT WILL BE SERVED BY INDIVIDUAL WELL AND SEPTIC SYSTEMS. THE DEVELOPER OF EACH LOT SHALL BE RESPONSIBLE FOR DESIGN, PERMITTING AND INSTALLATION OF SAID SYSTEMS IN ACCORDANCE WITH APPLICABLE CODES AND SPECIFICATIONS IN EFFECT AT THE TIME OF DEVELOPMENT.

FILE No. A295 JOB No. 100237 SCALE: AS NOTED DATE: 12/18/2014 SHEET No. 5	PROJECT NOTES EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095 © LANE ENGINEERING, LLC
Date: 12/04/2014 - 2:15pm User: jcarroll Project Manager: WBS XREF File(s): VRW-BASE-100237/GBS-8.5X11-BASE-100237 Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-GCS-PLTS-100237.dwg		

STORM DRAIN

1. INLETS SHALL BE PRECAST CONCRETE.
2. PIPE SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER INSTALLATION PROCEDURES.
3. ALL DRAINAGE STRUCTURES AND TRENCHES SHALL REMAIN FUNCTIONAL DURING CONSTRUCTION.
4. ALL ADJUSTMENTS TO INLETS, RINGS, TOPS MADE WITH BRICK SHALL STRICTLY COMPLY WITH SPECIFICATION SECTION 10 OF TALBOT COUNTY STANDARDS.
5. BASE UNIT DEPTH TO BE 3' MINIMUM. USE ECCENTRIC CORE UNIT ONLY WHERE RIM TO INVERT DEPTH IS GREATER THAN 5'-9"
6. ALL STORM DRAIN MANHOLES ARE TO BE PER S.H.A. STD. MD-384.01 OR MD-384.03 AND CONFORM TO ASTM C 478, LATEST REVISION. USE 48" STORM DRAIN MANHOLES TO ACCOMMODATE PIPE SIZES UP TO 24" IN DIAMETER. USE 60" STORM DRAIN MANHOLE TO ACCOMMODATE PIPE SIZES GREATER THAN 24" STORM.

GAS

1. IF A BURIED PROPANE SYSTEM IS PROPOSED, ALL PORTIONS OF THE SYSTEM SHALL BE DESIGNED AND INSTALLED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH ON-SITE UTILITY WORK INCLUDING ARRANGING THE SCHEDULE WITH TALBOT COUNTY AND ALL SUBCONTRACTORS.

SOIL EROSION AND SEDIMENT CONTROL

1. ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE 2011 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL OR THE MOST RECENT EDITION, ISSUED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
2. THE MEASURES REQUIRED IN THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL APPLY AS SHOWN ON THIS PLAN, AND BE COMPLETE AND IN SERVICE PRIOR TO CONSTRUCTION.
3. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROMOTE POSITIVE DRAINAGE AND ALSO STABILIZED WITH TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, CORRECTIONS SHALL BE MADE AND, TOPSOIL, SEED, AND MULCH SHALL BE REPLACED UNTIL SETTLEMENT SUBSIDES. (SEE SOIL EROSION AND SEDIMENT CONTROL NOTES, DETAILS, AND SPECIFICATIONS).

WETLANDS

1. ANY WETLANDS DELINEATION SHOWN HERON IS BASED UPON THE "CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL", DATED JANUARY, 1987. ANY REFERENCED WETLANDS BOUNDARY IS A RESULT OF THE BEST AVAILABLE INFORMATION AT THE TIME OF THE DELINEATION. THE FINAL AUTHORITY FOR ALL WETLANDS DELINEATION RESTS WITH THE ARMY CORPS OF ENGINEERS AND/OR THE ENVIRONMENTAL PROTECTION AGENCY. A JURISDICTIONAL DETERMINATION HAS BEEN RECEIVED FROM THE ARMY CORP OF ENGINEERS AND RESULTING WETLANDS AND BUFFERS ARE SHOWN ON THESE DRAWINGS.

TRAFFIC

1. TALBOT COUNTY PUBLIC WORKS DEPARTMENT SHALL INSTALL A ROAD NAME SIGN AT THE INTERSECTION OF THE PROPOSED PRIVATE ROAD WITH THE PUBLIC ROAD. THE COST OF SAID SIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE OWNER.

LIBER 2279 FOLIO 295

PROJECT NOTES

**EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM**

**TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49**

Lane Engineering, LLC

Established 1986
Civil Engineers • Land Planning • Land Surveyors

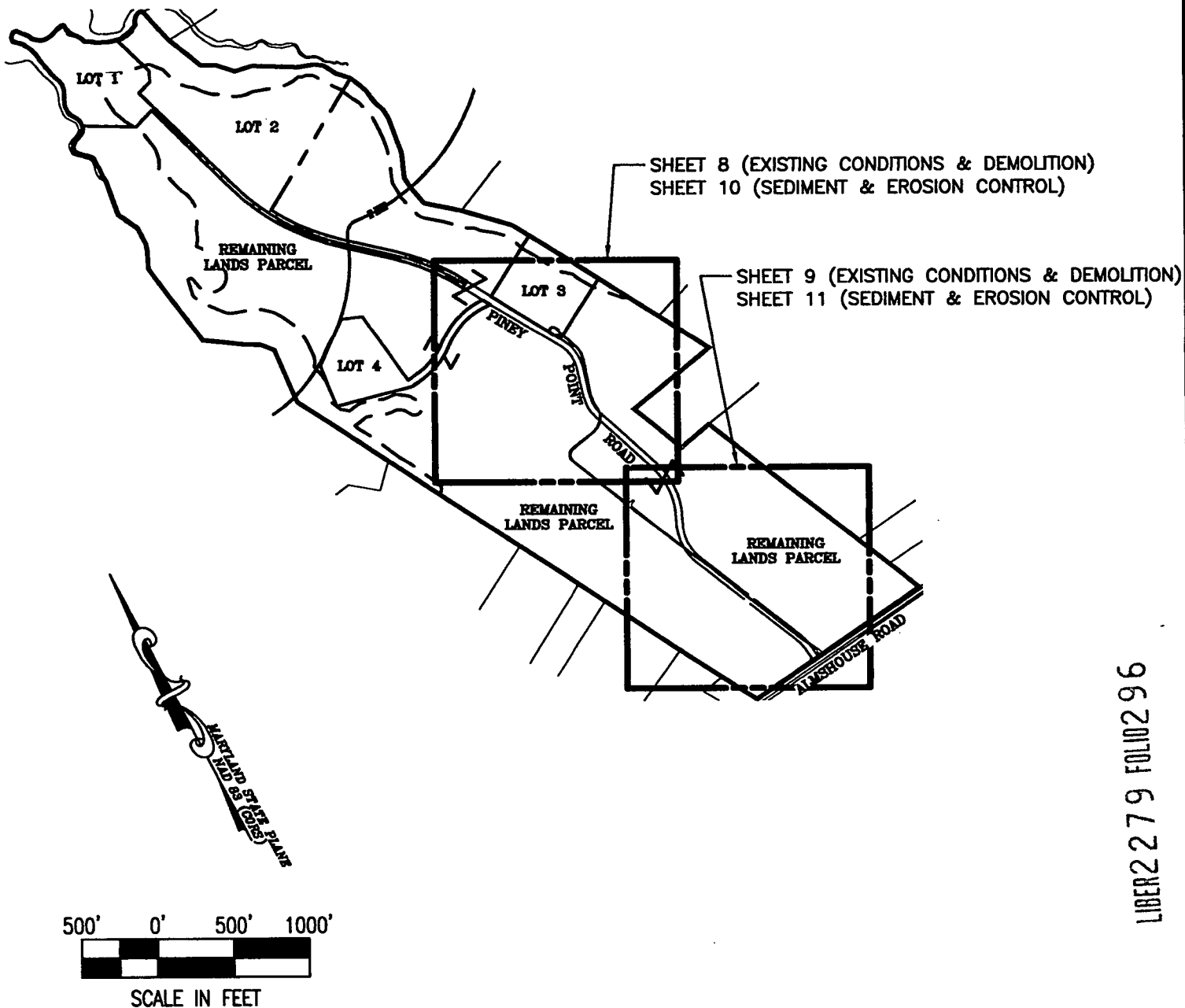


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FILE No. A295
JOB No. 100237
SCALE: AS NOTED
DATE: 12/18/2014
SHEET No. 6

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0295, MSA_CE91_2218, Date available 07/27/2015. Printed 04/27/2023.

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0296, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



SHEET 8 (EXISTING CONDITIONS & DEMOLITION)
SHEET 10 (SEDIMENT & EROSION CONTROL)

SHEET 9 (EXISTING CONDITIONS & DEMOLITION)
SHEET 11 (SEDIMENT & EROSION CONTROL)

LIBER 2279 FOLIO 296

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

OVERALL SITE PLAN


EXHIBIT A

PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

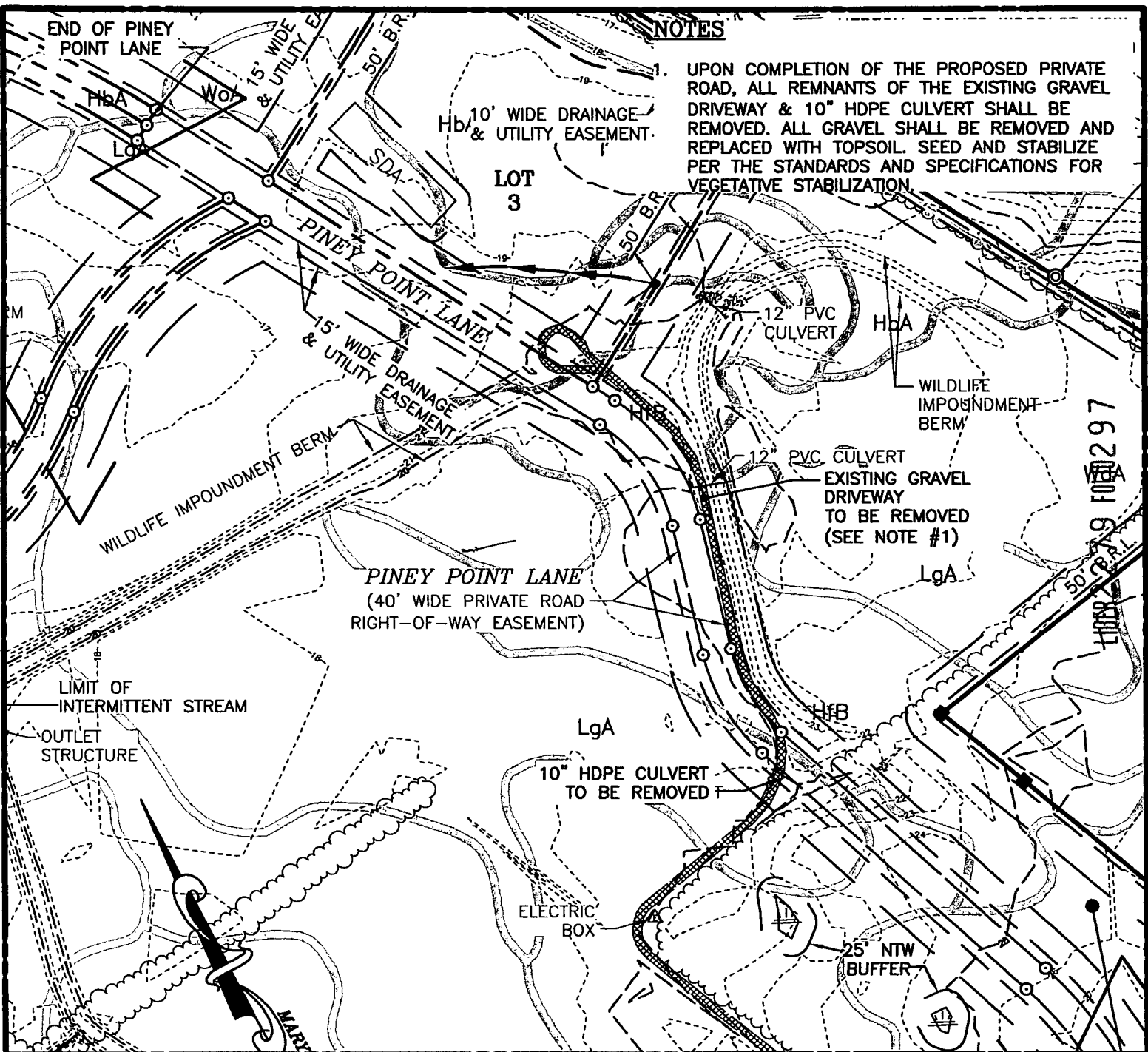
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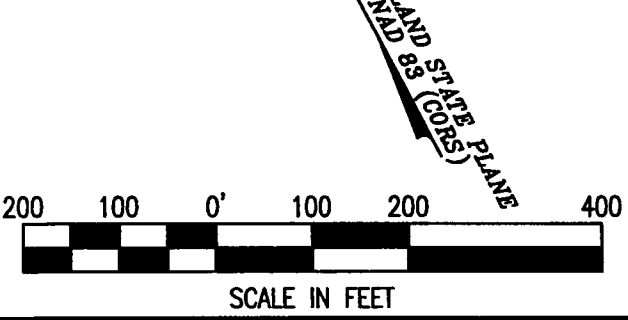
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0297, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



NOTES

1. UPON COMPLETION OF THE PROPOSED PRIVATE ROAD, ALL REMNANTS OF THE EXISTING GRAVEL DRIVEWAY & 10" HDPE CULVERT SHALL BE REMOVED. ALL GRAVEL SHALL BE REMOVED AND REPLACED WITH TOPSOIL. SEED AND STABILIZE PER THE STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION.



FOREST CLEARING TIME-FRAME RESTRICTION
 FOREST CONSERVATION EASEMENT "A" OF THE REMAINING LANDS PARCEL IS SUBJECT TO A FOREST CLEARING TIME-FRAME RESTRICTION. THIS FOREST STAND IS CONSIDERED HABITAT FOR THE DELMARVA FOX SQUIRREL (DFS) AND FOREST INTERIOR DWELLING BIRD SPECIES (FIDS). CLEARING OF ANY PORTION OF THIS FOREST AS SHOWN HEREON OR AS MAY OTHERWISE BE APPROVED BY TALBOT COUNTY SHALL OCCUR OUTSIDE THE COMBINED NESTING SEASON OF THESE SPECIES. CLEARING SHALL OCCUR ONLY FROM MAY 16 THROUGH AUGUST 31. CLEARING LIMITS SHALL BE FLAGGED FOR REVIEW BY TALBOT COUNTY OFFICE OF PLANNING AND PERMITS (410-770-8030) PRIOR TO COMMENCING CLEARING.

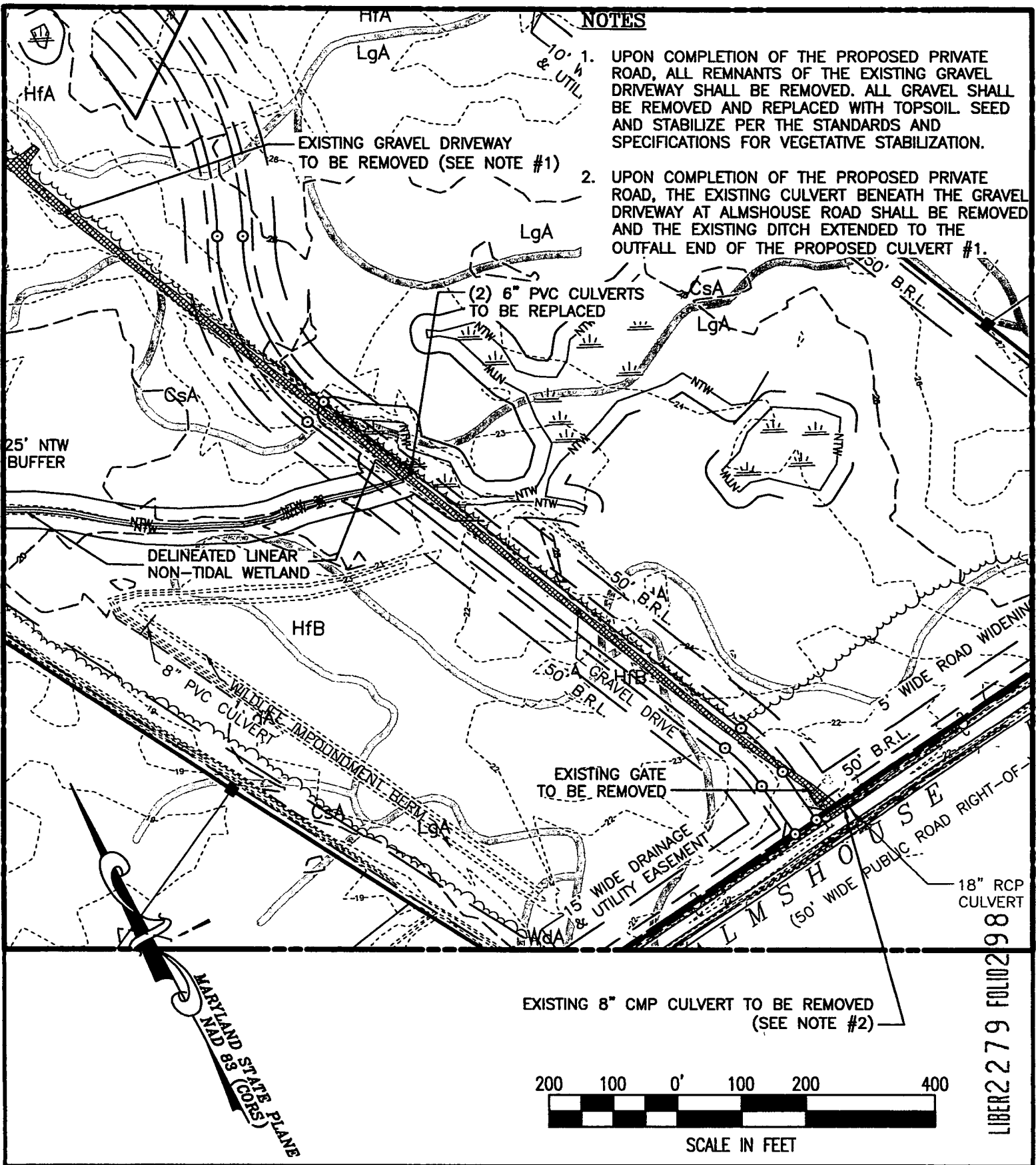
FILE No. A295	JOB No. 100237	DATE: 12/18/2014	SHEET No. 8
SCALE: AS NOTED			

EXISTING CONDITIONS & DEMOLITION PLAN
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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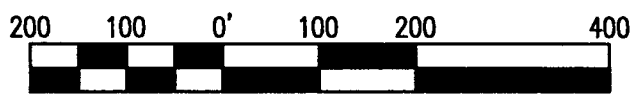
TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0298, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



NOTES

1. UPON COMPLETION OF THE PROPOSED PRIVATE ROAD, ALL REMNANTS OF THE EXISTING GRAVEL DRIVEWAY SHALL BE REMOVED. ALL GRAVEL SHALL BE REMOVED AND REPLACED WITH TOPSOIL. SEED AND STABILIZE PER THE STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION.
2. UPON COMPLETION OF THE PROPOSED PRIVATE ROAD, THE EXISTING CULVERT BENEATH THE GRAVEL DRIVEWAY AT ALMHOUSE ROAD SHALL BE REMOVED AND THE EXISTING DITCH EXTENDED TO THE OUTFALL END OF THE PROPOSED CULVERT #1.

EXISTING 8" CMP CULVERT TO BE REMOVED (SEE NOTE #2)



SCALE IN FEET

LIBER 2279 FOLIO 298

EXISTING CONDITIONS & DEMOLITION PLAN

EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

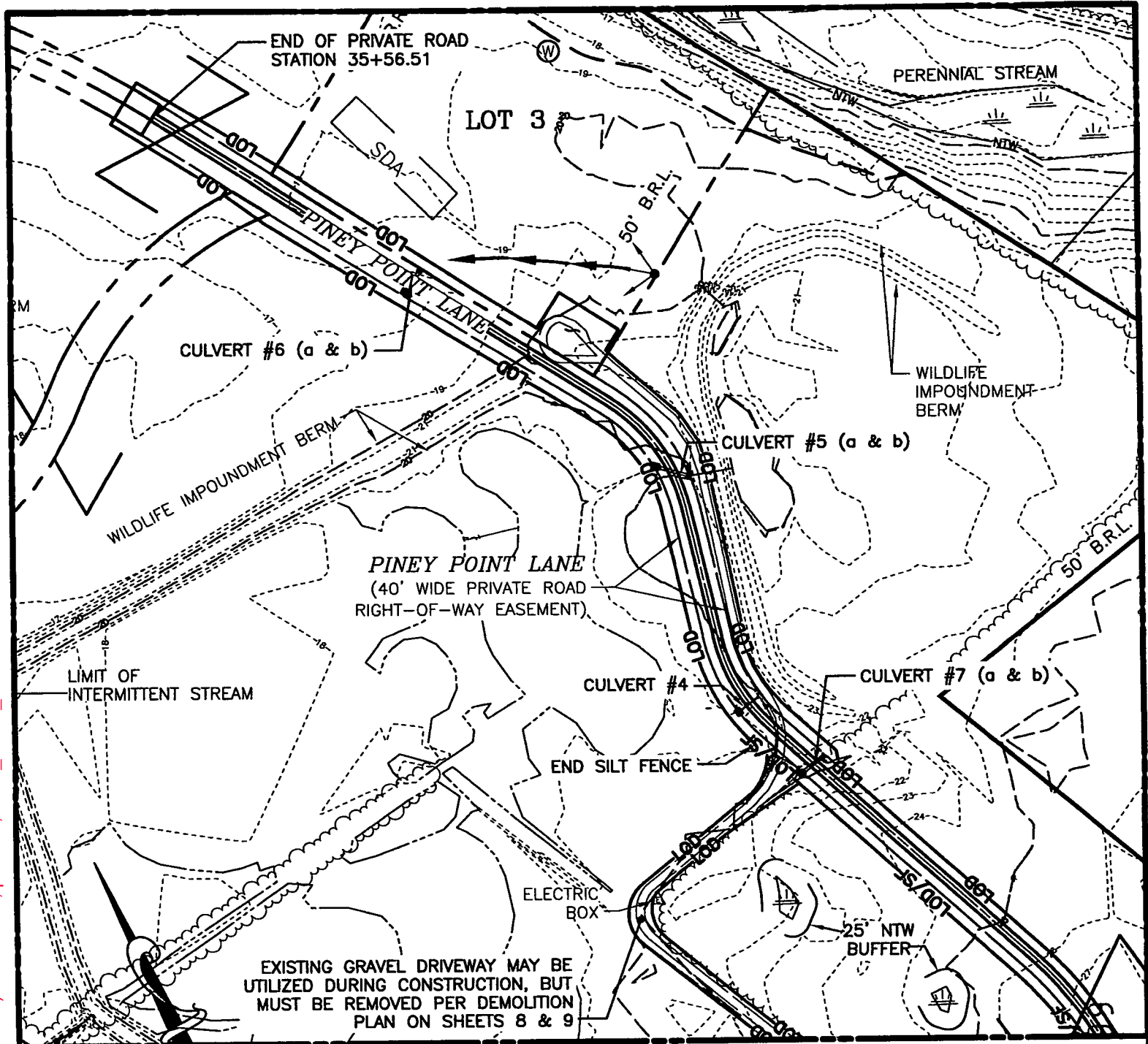
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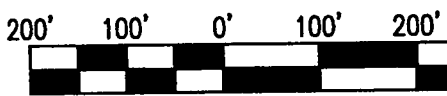
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SCALE: AS NOTED	
JOB No.: 100237	
FILE No.: A295	

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0299, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



NOTES

- 1. SEE SHEETS 47-53 HEREIN FOR SEDIMENT DETAILS



SCALE IN FEET

LIBR 279 FOLIO 2

FILE No. A295	JOB No. 100237	SCALE: AS NOTED	DATE: 12/18/2014	SHEET No. 10
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SEDIMENT & EROSION CONTROL PLAN

EXHIBIT A

PRIVATE ROAD DESIGN FOR PINEY POINT FARM

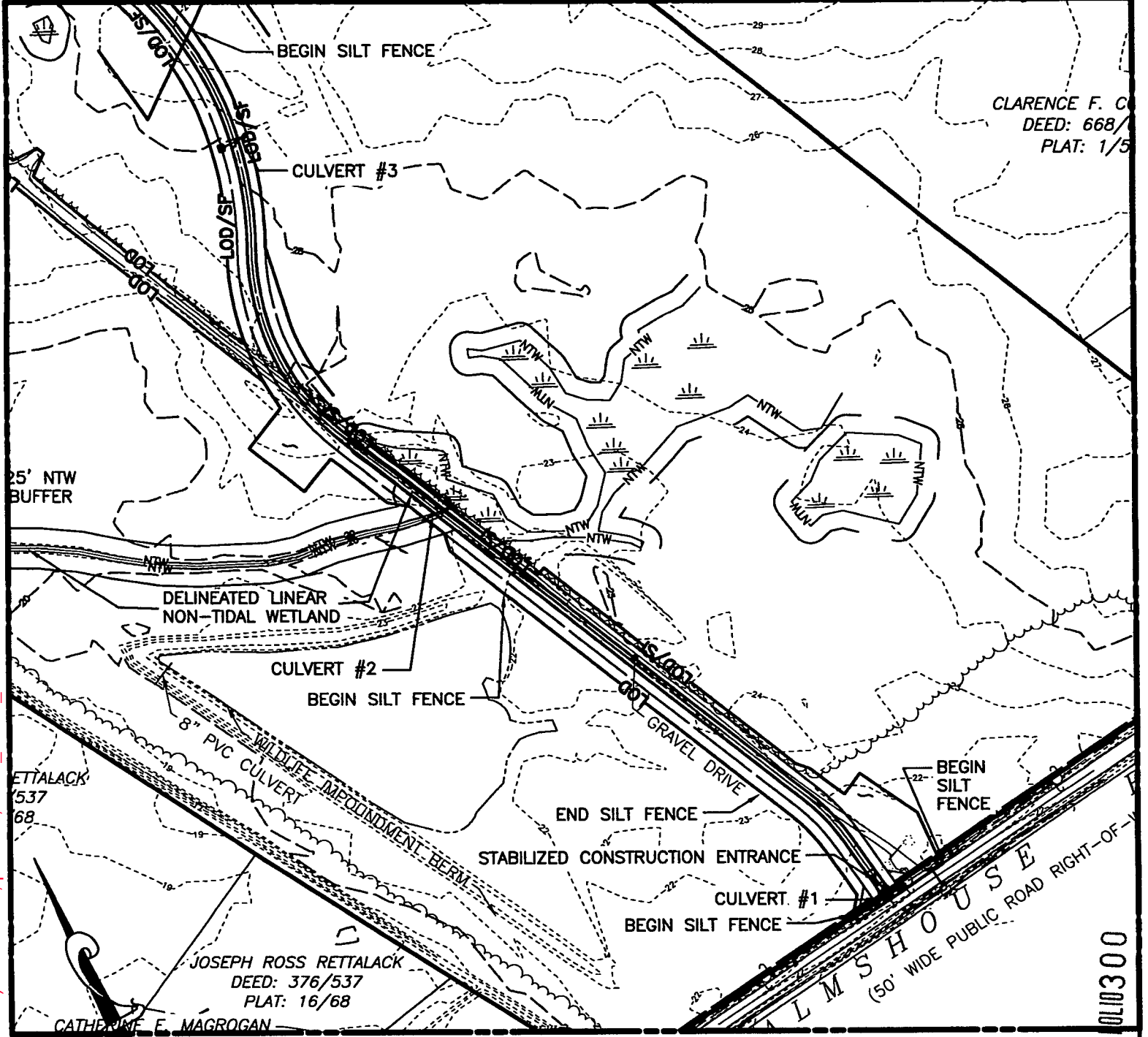
TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0300, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



CLARENCE F. C
DEED: 668/
PLAT: 1/5

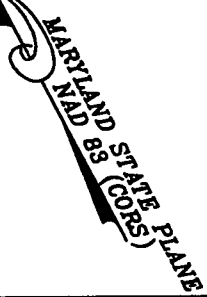
25' NTW
BUFFER

DELINEATED LINEAR
NON-TIDAL WETLAND

RETTALACK
537
68

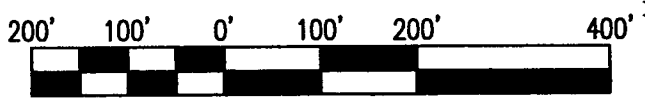
JOSEPH ROSS RETTALACK
DEED: 376/537
PLAT: 16/68

CATHERINE E. MAGROGAN



NOTES

- 1. SEE SHEETS 47-53 HEREIN FOR SEDIMENT DETAILS



SCALE IN FEET

LIBER 2279 010300

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 11

SEDIMENT & EROSION CONTROL PLAN
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

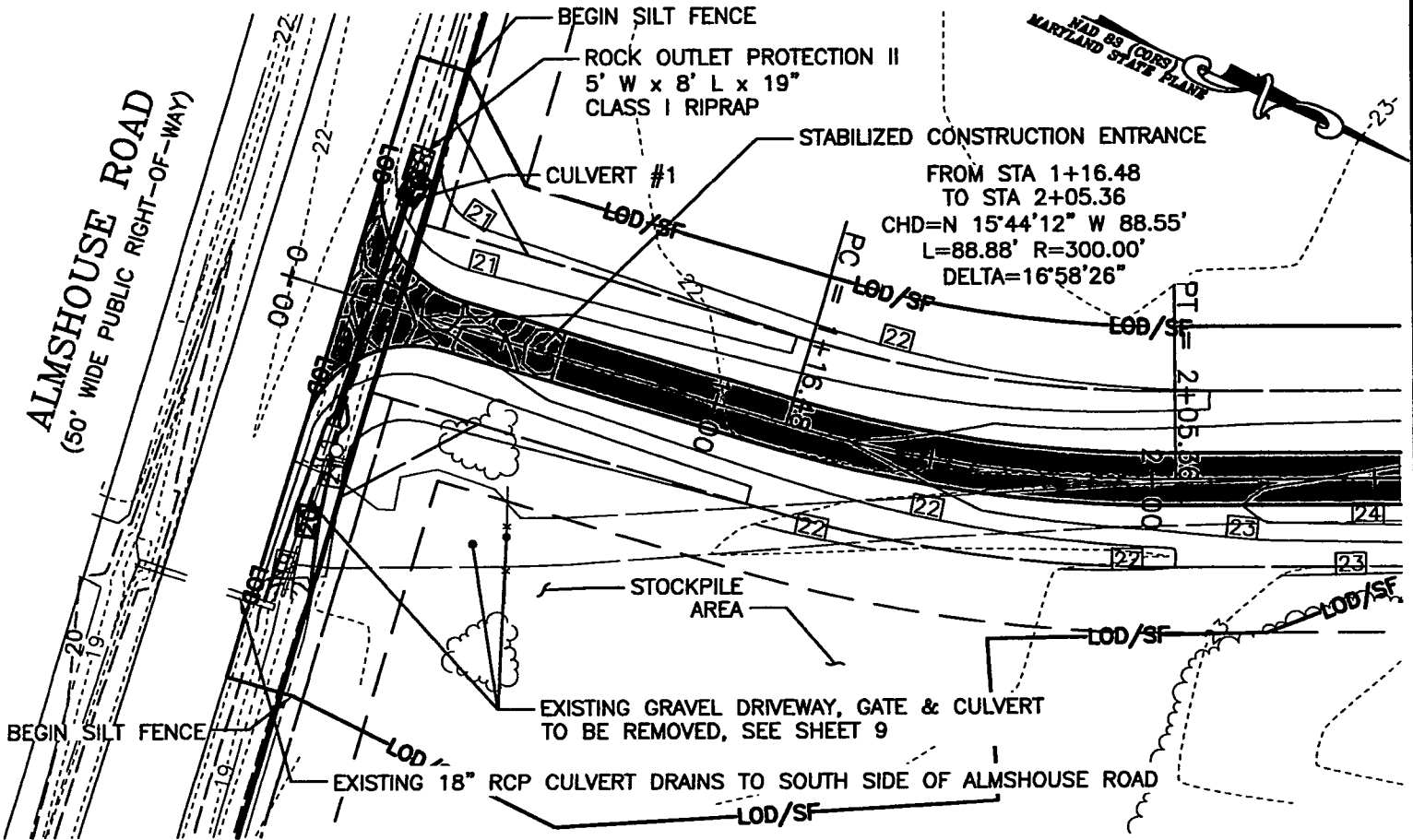
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CULVERT TABLE

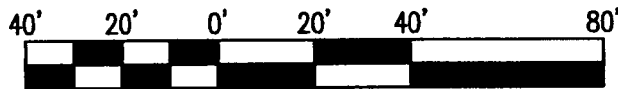
CULVERT #	TYPE	LENGTH*	SLOPE	INVERT IN		INVERT OUT	
				STATION	ELEVATION	STATION	ELEVATION
#1	15" HDPE	58 LF	0.155%	0+20.41; 28.32' (L)	19.42	0+18.91; 29.69' (R)	19.33

*LENGTH INCLUDES END SECTIONS



PINEY POINT LANE ROAD PLAN

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 0+00 TO 2+50
 SCALE: 1"=40'



ROAD CONSTRUCTION NOTES:

- STA 2+25± TO STA 9+50±: LEFT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

SCALE IN FEET

LIBER 2279 FOLIO 30

DATE: 12/18/2014	SHEET No. 12
SCALE: AS NOTED	
JOB No. 100237	
FILE No. A295	

PINEY POINT LANE ROAD PLAN

**EXHIBIT A
 PRIVATE ROAD DESIGN FOR
 PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

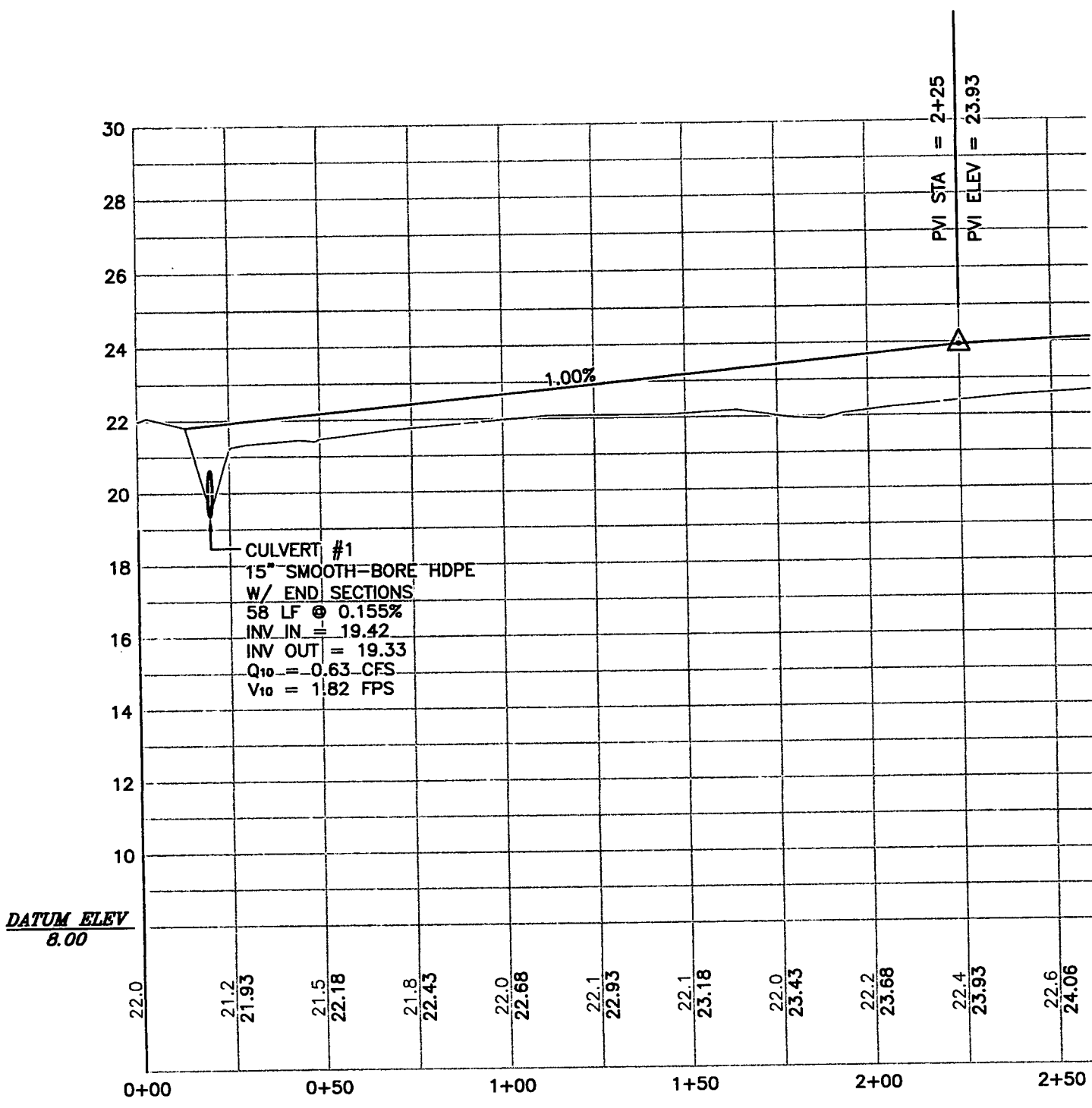
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0302, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 0+00 TO 2+50
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 302

SHEET No. **13**
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

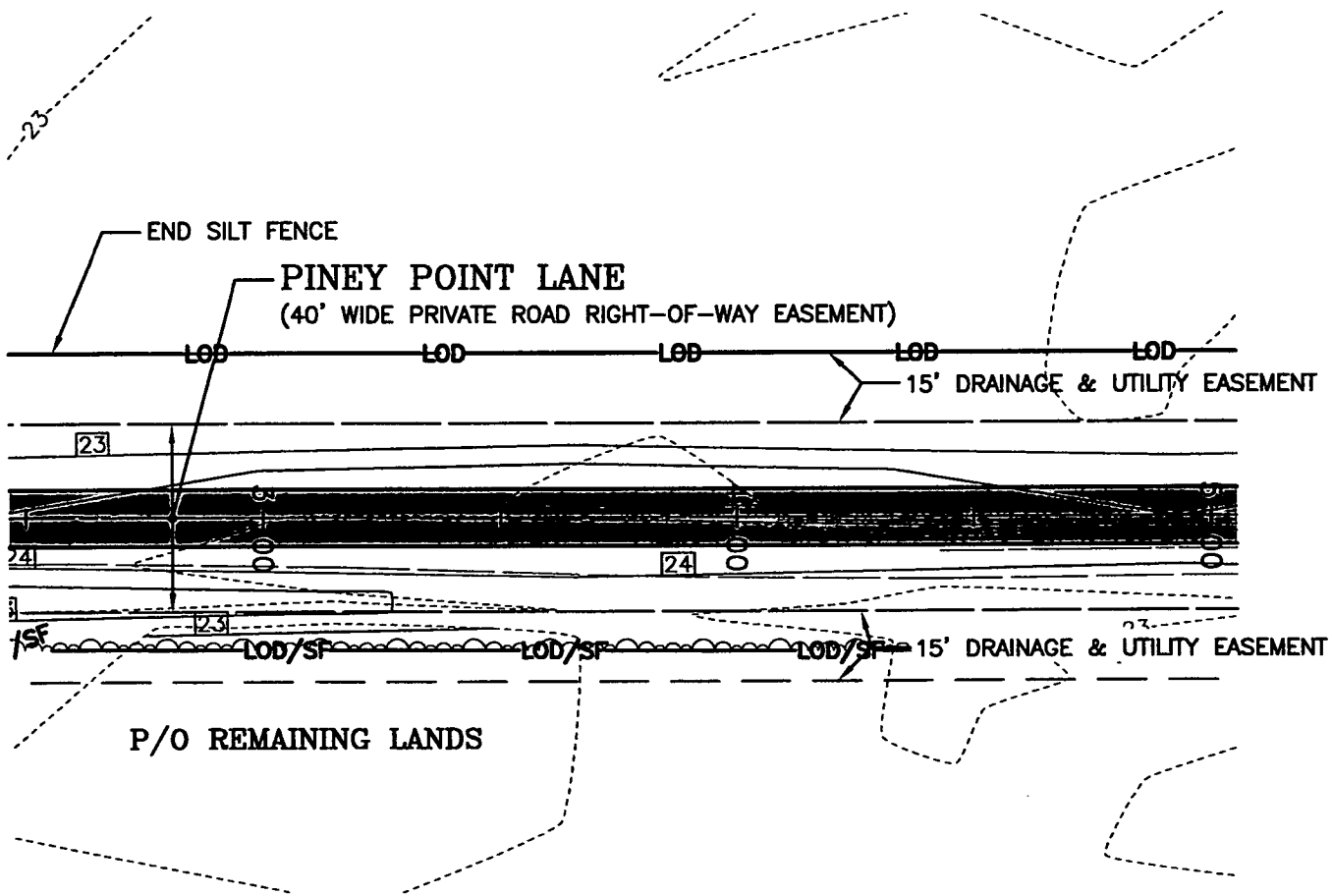
PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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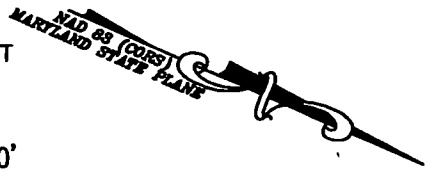
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PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 2+50 TO 5+00
 SCALE: 1"=40'

SCALE IN FEET

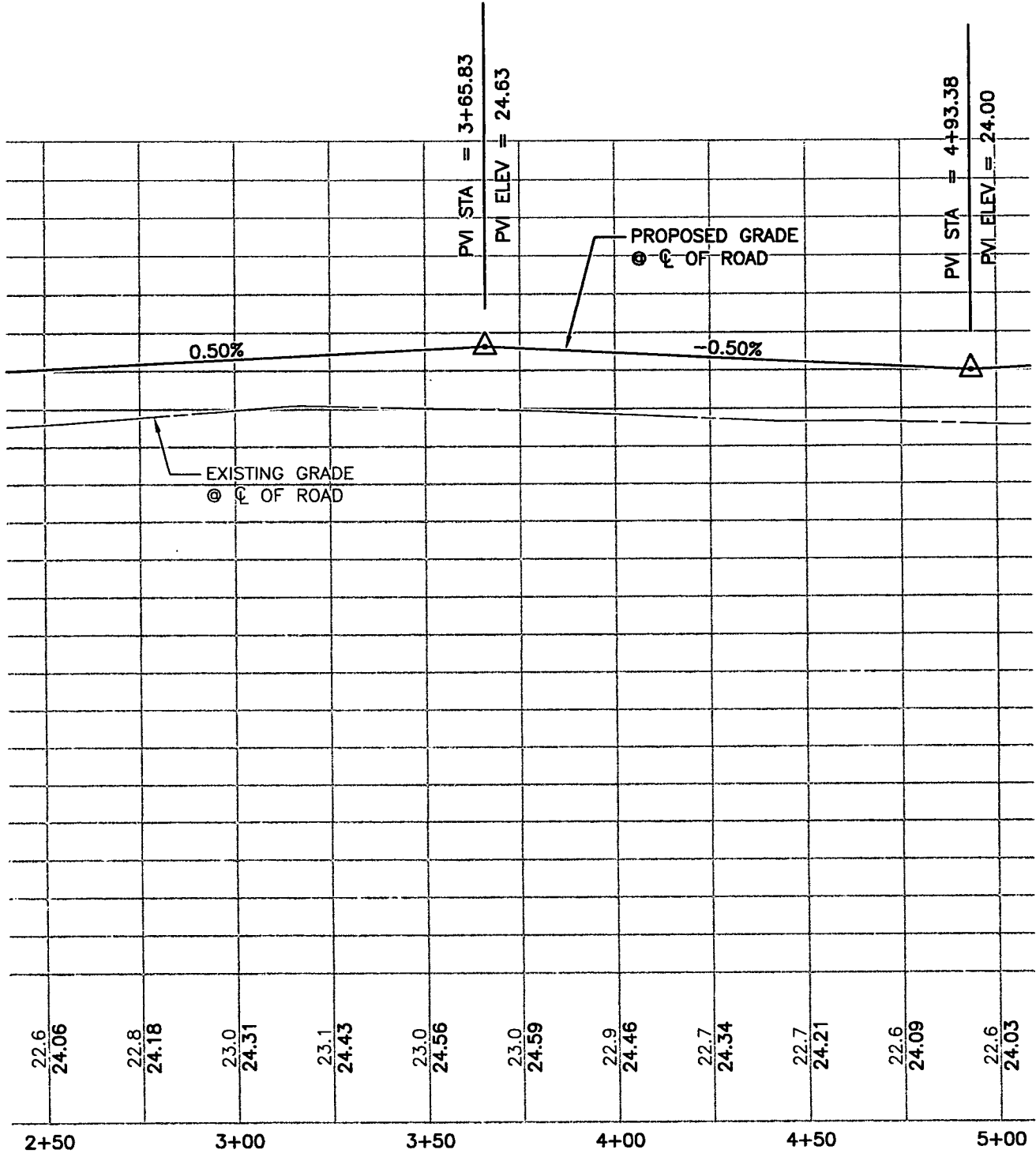


LIBER 2279 FOLIO 303

ROAD CONSTRUCTION NOTES:

1. STA 2+50 TO STA 16+00: ROAD SURFACE TO BE "SUPER-ELEVATED" (NO CENTER CROWN - ROAD PITCHED TO THE LEFT) PER THE DETAIL ON SHEET 59. PROVIDE 25' TRANSITION AT EACH END TO THE CROWNED ROAD SURFACE PER THE DETAIL ON SHEET 58. REFER TO ADDITIONAL NOTES BELOW REGARDING DITCH CONSTRUCTION THROUGH THIS SECTION.
2. STA 2+25± TO STA 9+50±: LEFT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.
3. STA 3+65± TO STA 10+75±: RIGHT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	SHEET No. <div style="font-size: 2em; font-weight: bold; text-align: center;">14</div>	<p>PINEY POINT LANE ROAD PLAN</p> <p>EXHIBIT A</p> <p>PRIVATE ROAD DESIGN FOR</p> <p>PINEY POINT FARM</p> <p>TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49</p>	<p>Lane Engineering, LLC</p> <p>Established 1986 Civil Engineers • Land Planning • Land Surveyors</p> <p>E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095</p> <p>© LANE ENGINEERING, LLC</p>
Date: 12/04/2014 - 2:18pm User: jcarroll Project Manager: WBS Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-CSP-PLTS-100237.dwg XREF File(s): CPV-BASE-100237/CSD-BASE-100237/CSF-BASE-100237/CUP-BASE-100237/VSF-BASE-100237/VSP-BASE-100237/VUP-BASE-100237/VRW-BASE-100237/CPR-BASE-100237/RSF-B			



PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 2+50 TO 5+00
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 304

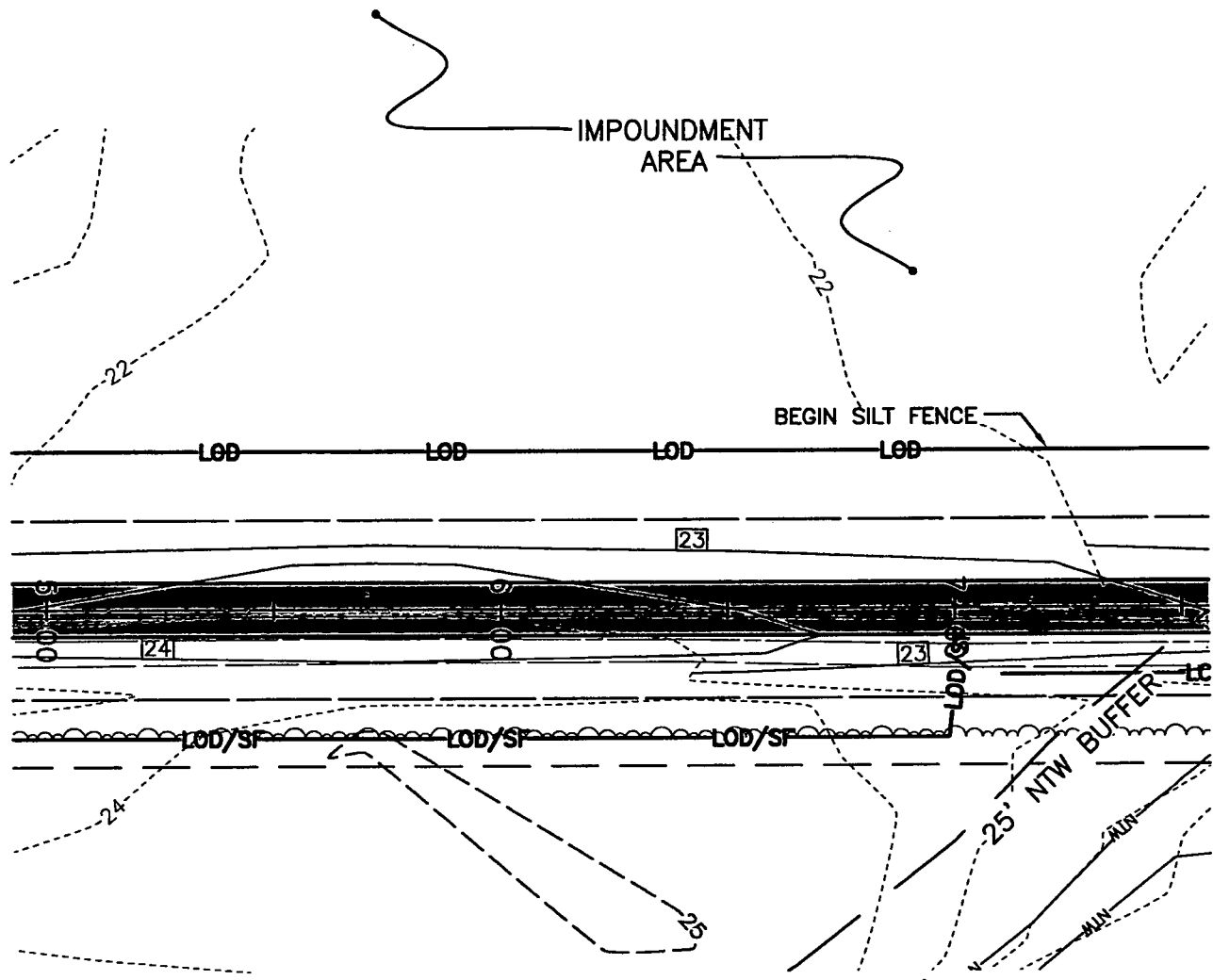
SHEET No. **15**
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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 Established 1986
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PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 5+00 TO 7+50
 SCALE: 1"=40'

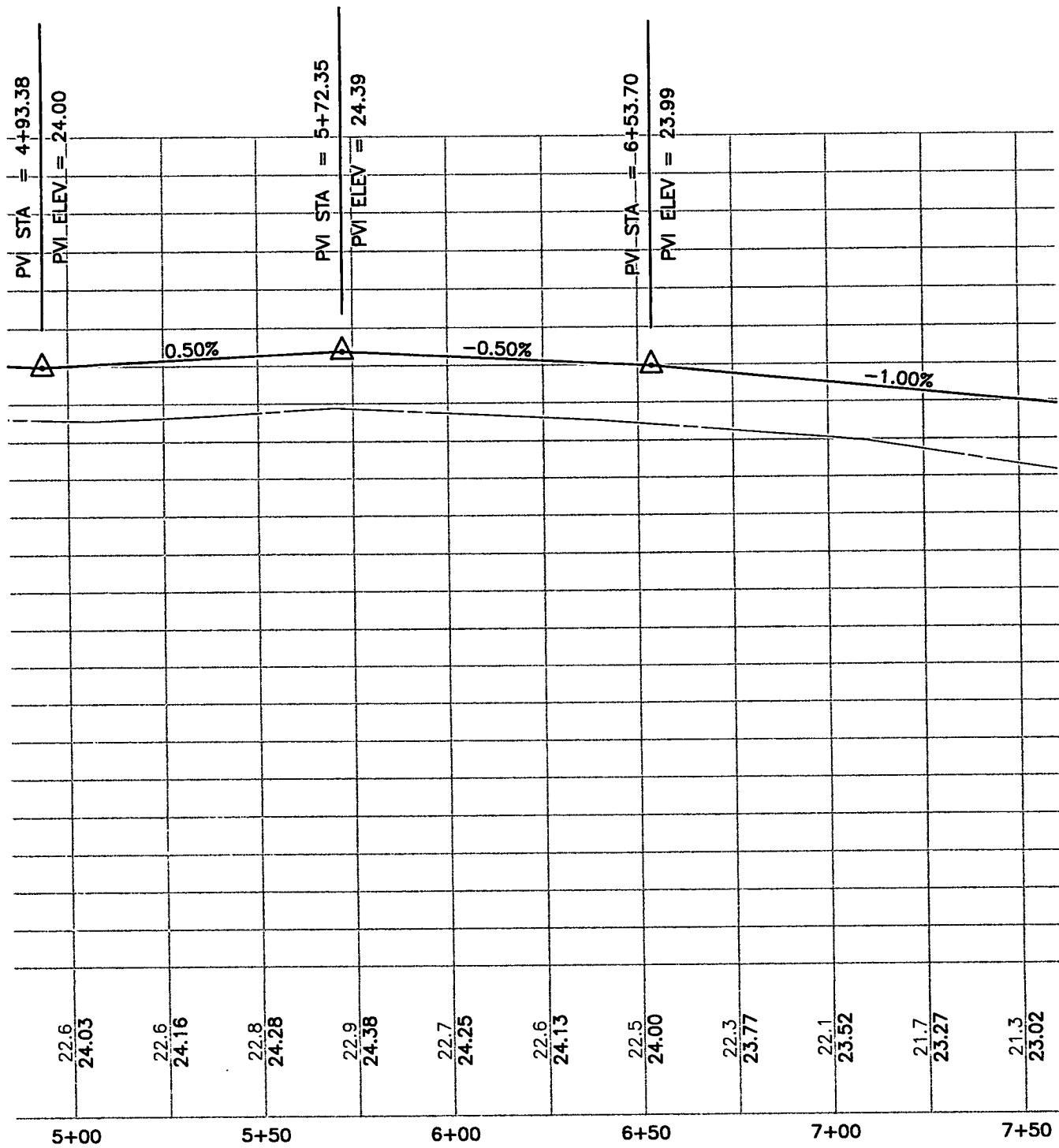
SCALE IN FEET

ROAD CONSTRUCTION NOTES:

1. STA 2+50 TO STA 16+00: ROAD SURFACE TO BE "SUPER-ELEVATED" (NO CENTER CROWN - ROAD PITCHED TO THE LEFT) PER THE DETAIL ON SHEET 59. PROVIDE 25' TRANSITION AT EACH END TO THE CROWNED ROAD SURFACE PER THE DETAIL ON SHEET 58. REFER TO ADDITIONAL NOTES BELOW REGARDING DITCH CONSTRUCTION THROUGH THIS SECTION.
2. STA 2+25± TO STA 9+50±: LEFT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.
3. STA 3+65± TO STA 10+75±: RIGHT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

LIBER 2279 FOLIO 305

DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	SHEET No. 16	PINEY POINT LANE ROAD PLAN EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095 © LANE ENGINEERING, LLC
Date: 12/04/2014 - 2:18pm User: jearroll Project Manager: WBS Drawing Path: J:\2010\0200\100237\CadData\Dwg\RD-CSP-PLTS-100237.dwg XREF File(s): CPV-BASE-100237/CSD-BASE-100237/CSF-BASE-100237/CLP-BASE-100237/VSF-BASE-100237/VSP-BASE-100237/VUP-BASE-100237/VRW-BASE-100237/CPR-BASE-100237/RSF-B			



LIBER 2279 FOLIO 306

PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 5+00 TO 7+50
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

SHEET No.
17

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

PINEY POINT ROAD PROFILE


EXHIBIT A

PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
 Civil Engineers • Land Planning • Land Surveyors



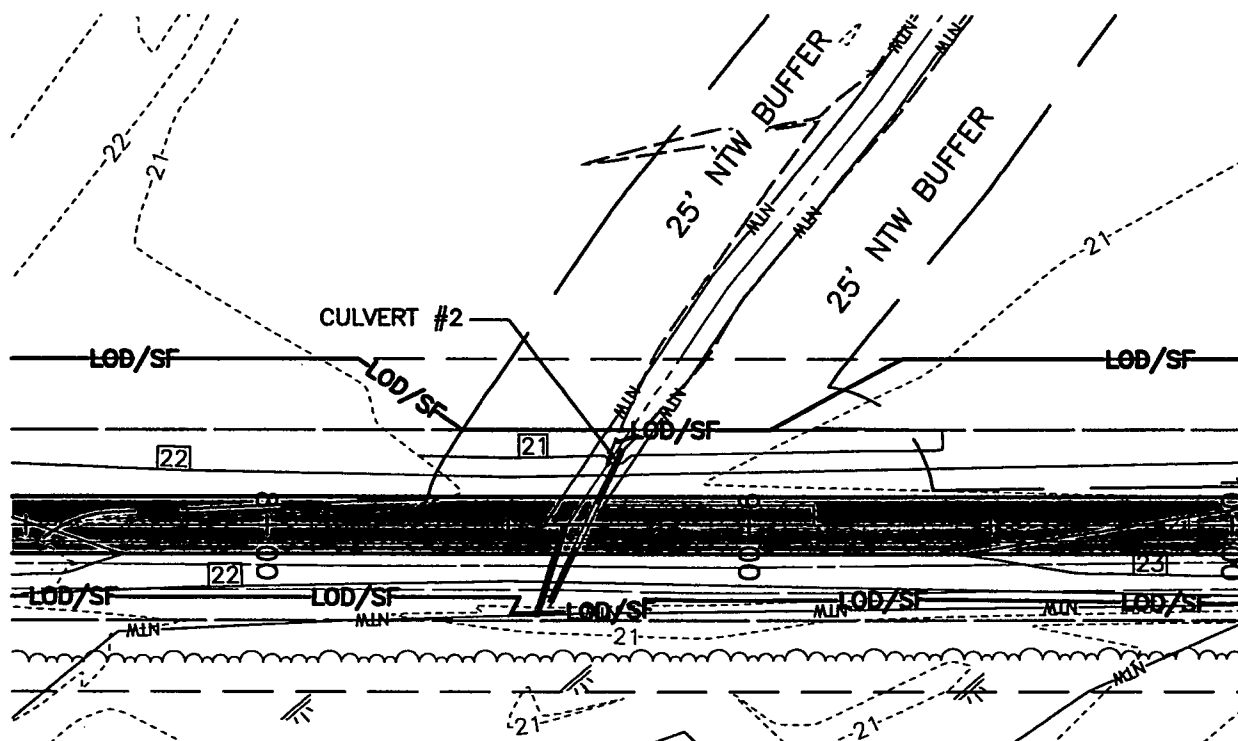
E-mail: mail@leinc.com
 117 Bay St. Easton, MD 21601 (410) 822-8003
 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

© LANE ENGINEERING, LLC

CULVERT TABLE

				INVERT IN		INVERT OUT	
CULVERT	TYPE	LENGTH*	SLOPE	STATION	ELEVATION	STATION	ELEVATION
#2	12" HDPE	35.3 LF	1.836%	8+58.74; 16' (R)	20.60	8+73.80; 16' (L)	19.95

*LENGTH INCLUDES END SECTIONS

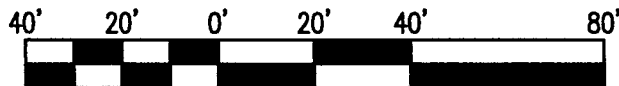


PINEY POINT LANE ROAD PLAN

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT

STA 7+50 TO 10+00

SCALE: 1"=40'



ROAD CONSTRUCTION NOTES:

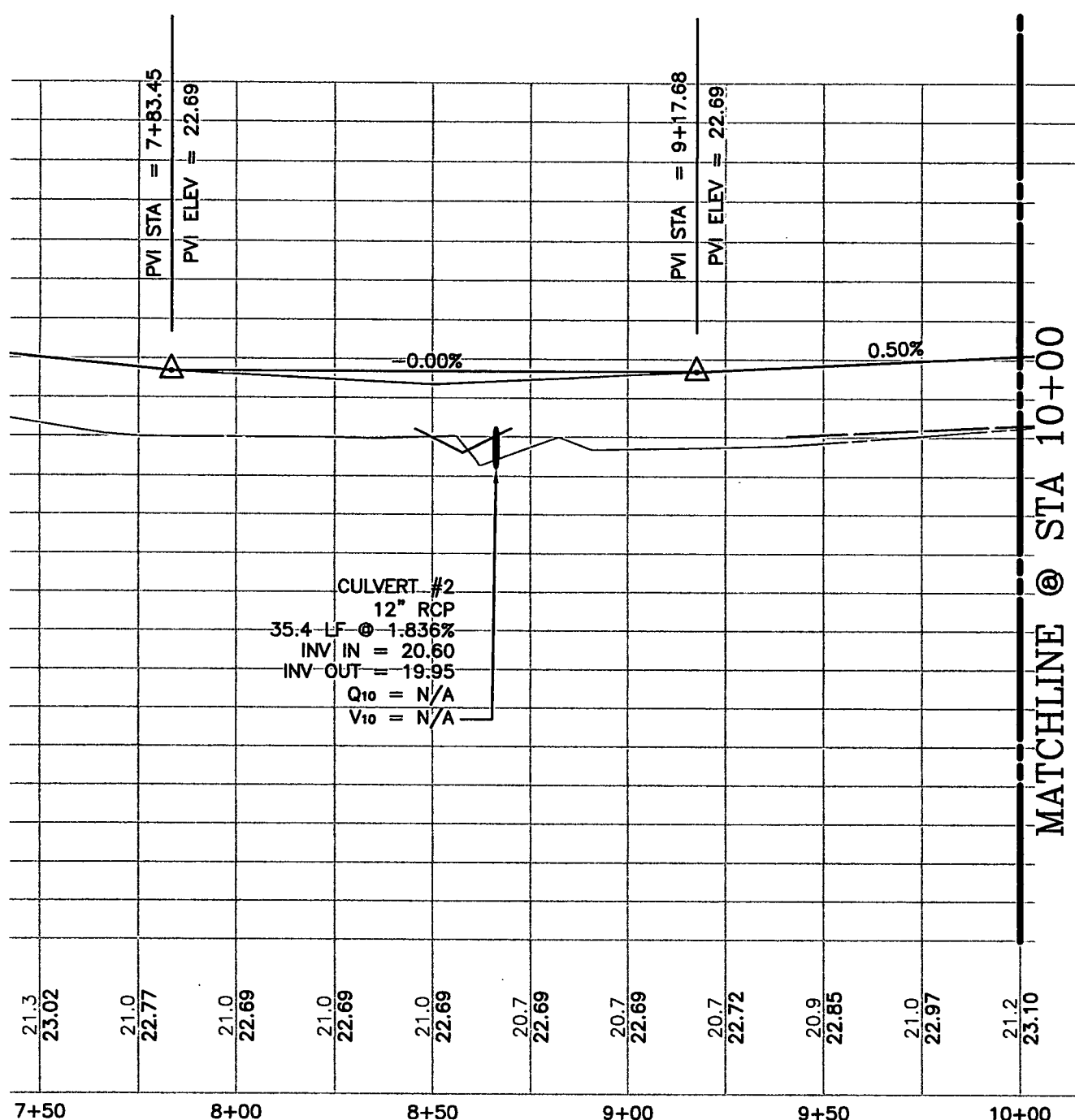
SCALE IN FEET

1. STA 2+50 TO STA 16+00: ROAD SURFACE TO BE "SUPER-ELEVATED" (NO CENTER CROWN - ROAD PITCHED TO THE LEFT) PER THE DETAIL ON SHEET 59. PROVIDE 25' TRANSITION AT EACH END TO THE CROWNED ROAD SURFACE PER THE DETAIL ON SHEET 58. REFER TO ADDITIONAL NOTES BELOW REGARDING DITCH CONSTRUCTION THROUGH THIS SECTION.
2. STA 2+25± TO STA 9+50±: LEFT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.
3. STA 3+65± TO STA 10+75±: RIGHT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.
4. STA 9+50± TO STA 12+75±: THROUGHOUT THIS SECTION THE EXISTING GRADE VARIES SIGNIFICANTLY PRIMARILY DUE TO CROSSING THE EXISTING ROAD AND IT'S DITCHES. YOU'LL NEED TO TRANSITION IN AND OUT OF THE 4' WIDE FLAT-BOTTOM-DITCH PER ROAD DETAILS AS EXISTING GRADE DICTATES.

LIBER 279 FOLIO 307

DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	SHEET No. <h2 style="text-align: center;">18</h2>	<h3 style="margin: 0;">PINEY POINT LANE ROAD PLAN</h3> <p style="margin: 5px 0 0 0;">EXHIBIT A</p> <h3 style="margin: 0;">PRIVATE ROAD DESIGN FOR PINEY POINT FARM</h3> <p style="margin: 5px 0 0 0;">TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49</p>	<h3 style="margin: 0;">Lane Engineering, LLC</h3> <p style="margin: 5px 0 0 0;">Established 1986 Civil Engineers • Land Planning • Land Surveyors</p> <p style="margin: 5px 0 0 0;">E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095</p>
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0307, MSA_CE91_2218, Date available 07/27/2015, Printed 04/27/2023.



MATCHLINE @ STA 10+00
SEE SHEET C202 FOR CONTINUATION

LIBER 2279 FOLIO 308

PINEY POINT LANE ROAD PROFILE
40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
STA 7+50 TO 10+00
SCALE: 1"=4' VERTICAL
1"=40' HORIZONTAL

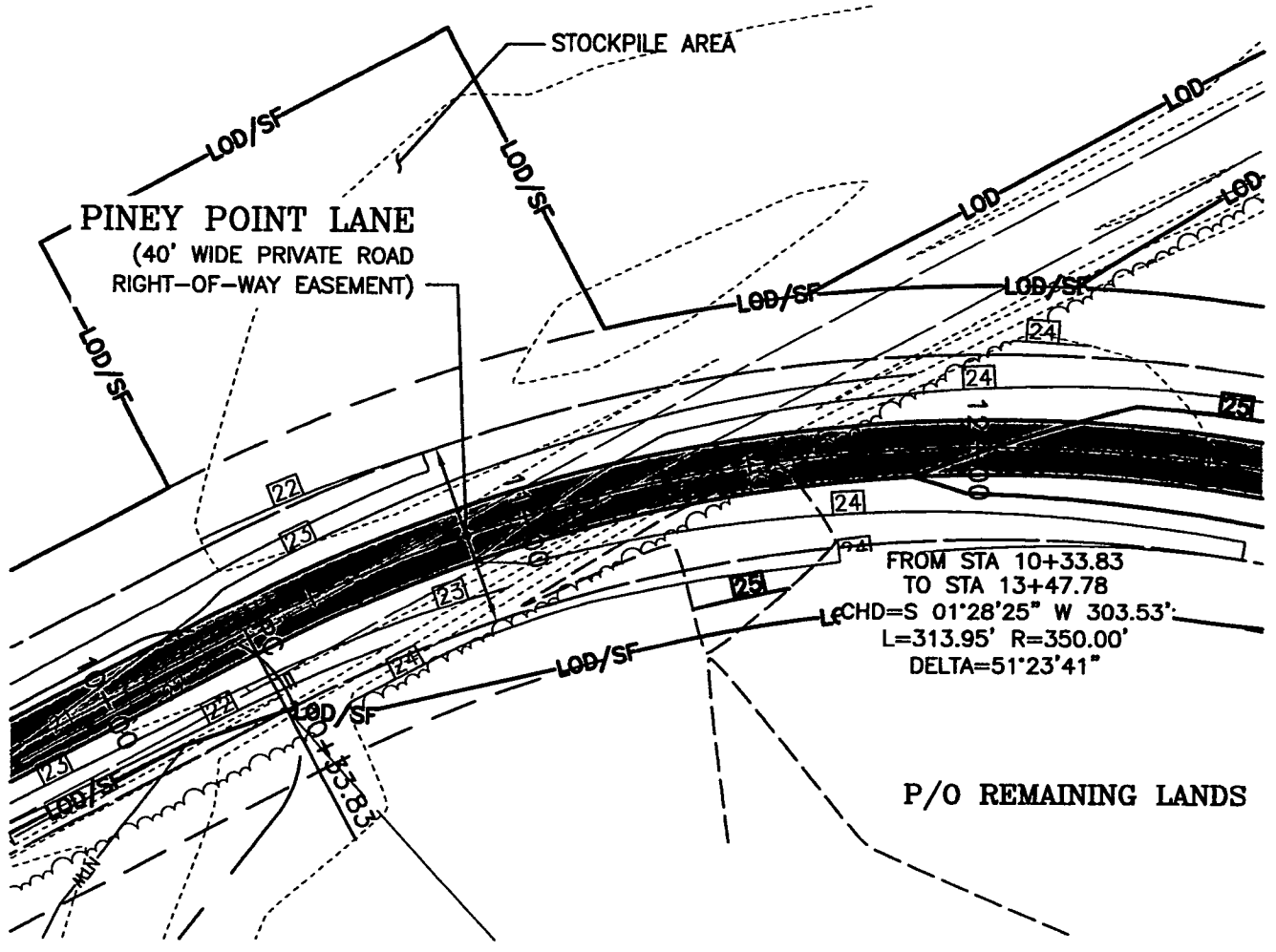
CULVERT #2
12" RCP
35.4 LF @ -1.836%
INV IN = 20.60
INV OUT = 19.95
Q10 = N/A
V10 = N/A

SHEET No. 19
DATE: 12/18/2014
SCALE: AS NOTED
JOB No. 100237
FILE No. A295

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC
Established 1986
Civil Engineers • Land Planning • Land Surveyors
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0309, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 10+00 TO 12+50
 SCALE: 1"=40'

SCALE IN FEET



LIBER 2279 FOLIO 309

ROAD CONSTRUCTION NOTES:

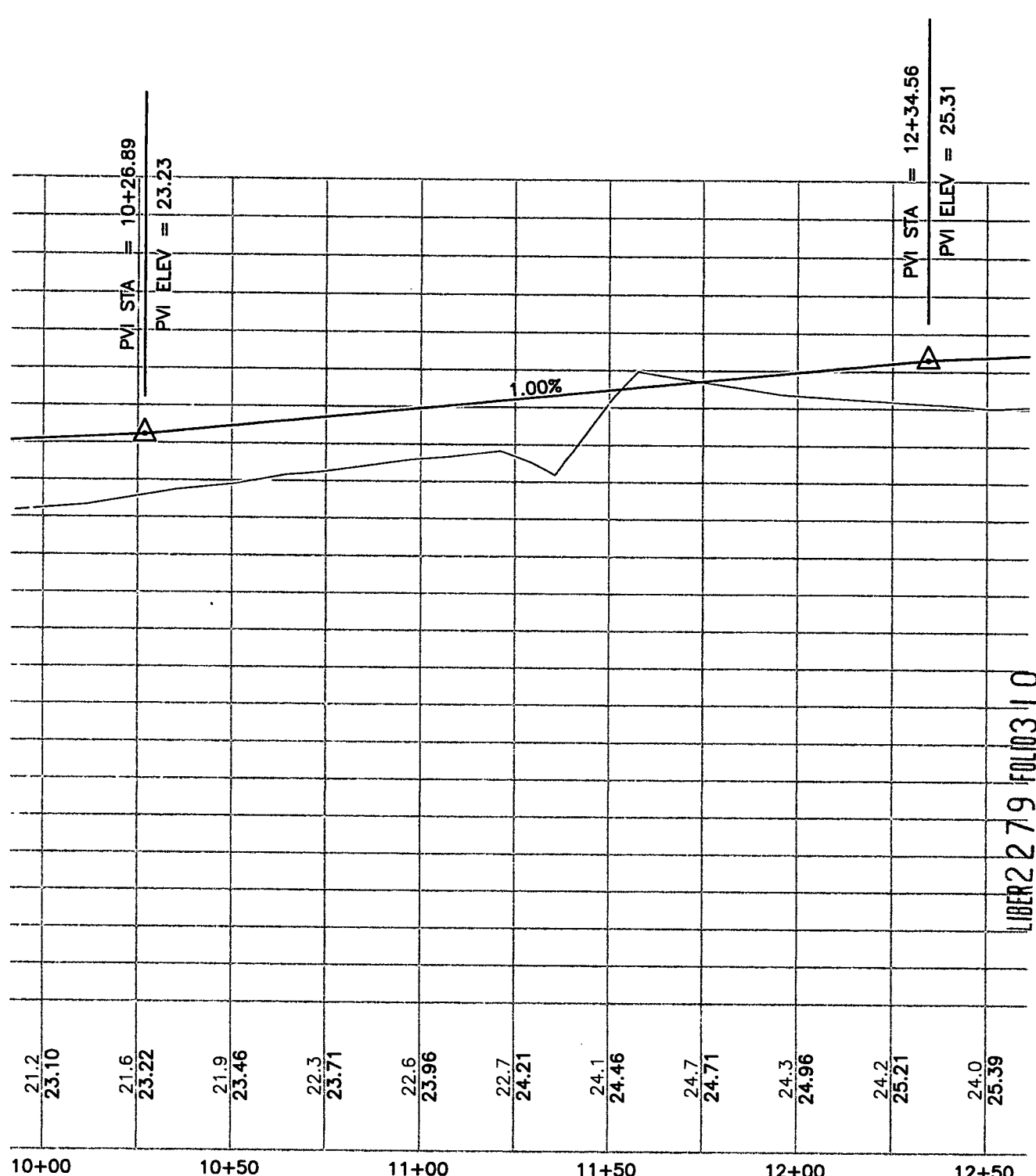
1. STA 2+50 TO STA 16+00: ROAD SURFACE TO BE "SUPER-ELEVATED" (NO CENTER CROWN - ROAD PITCHED TO THE LEFT) PER THE DETAIL ON SHEET 59. PROVIDE 25' TRANSITION AT EACH END TO THE CROWNED ROAD SURFACE PER THE DETAIL ON SHEET 58. REFER TO ADDITIONAL NOTES BELOW REGARDING DITCH CONSTRUCTION THROUGH THIS SECTION.
2. STA 3+65± TO STA 10+75±: RIGHT SIDE - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.
3. STA 9+50± TO STA 12+75±: THROUGHOUT THIS SECTION THE EXISTING GRADE VARIES SIGNIFICANTLY PRIMARILY DUE TO CROSSING THE EXISTING ROAD AND IT'S DITCHES. TRANSITION IN AND OUT OF THE 4' WIDE FLAT-BOTTOM-DITCH PER ROAD DETAILS AS EXISTING GRADE DICTATES.

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 20

PINEY POINT LANE ROAD PLAN
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC
 Established 1986
 Civil Engineers • Land Planning • Land Surveyors

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LIBER 2279 FOLIO 310

PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 10+00 TO 12+50
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

SHEET No. **21**
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

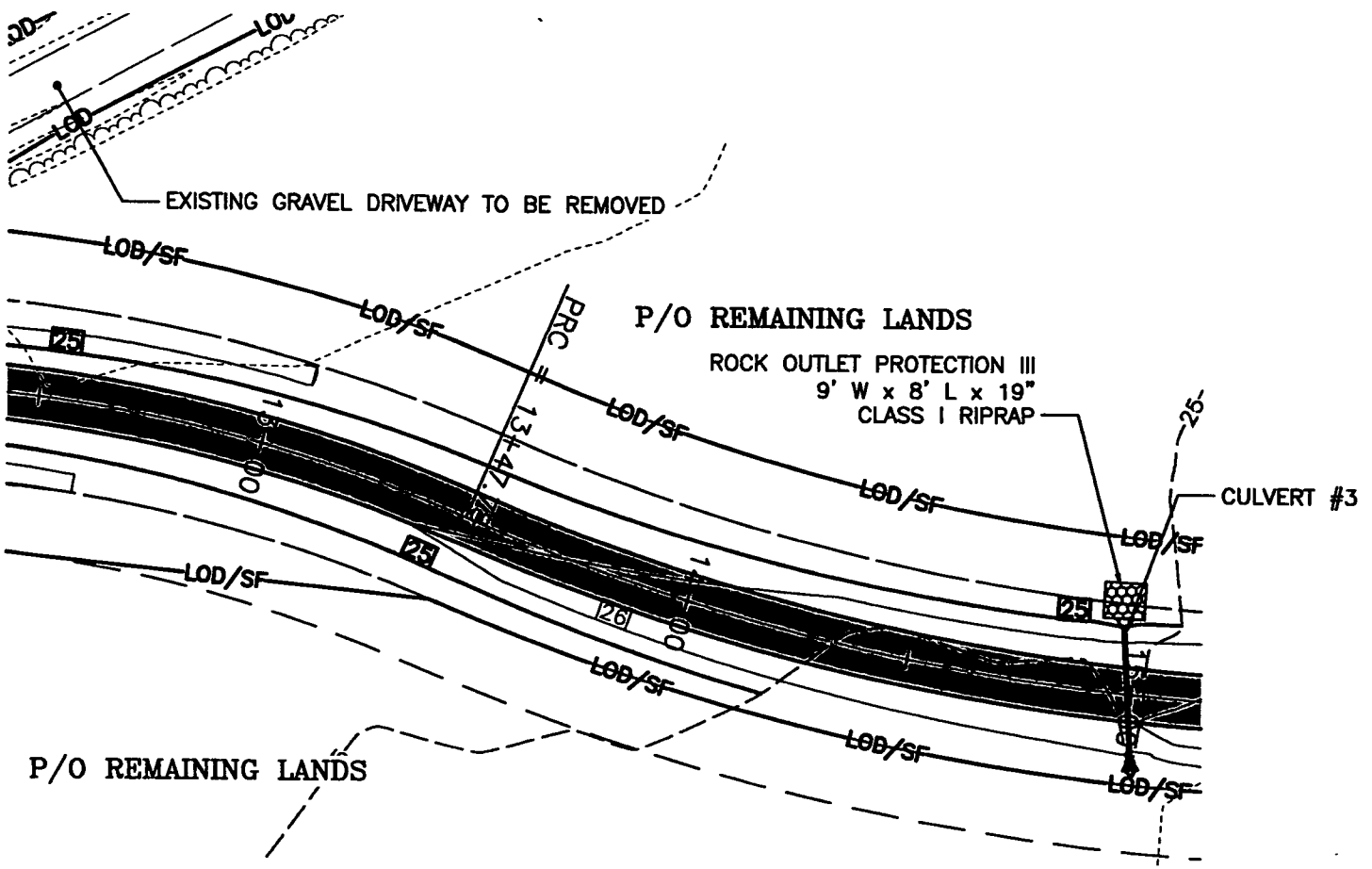
PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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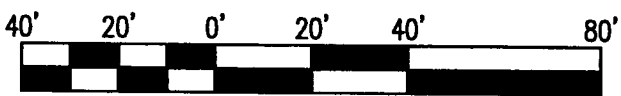
E-mail: mall@leinc.com
 117 Bay St. Easton, MD 21601 (410) 822-8003
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0311, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PLAN

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 12+50 TO 15+00
 SCALE: 1"=40'



SCALE IN FEET

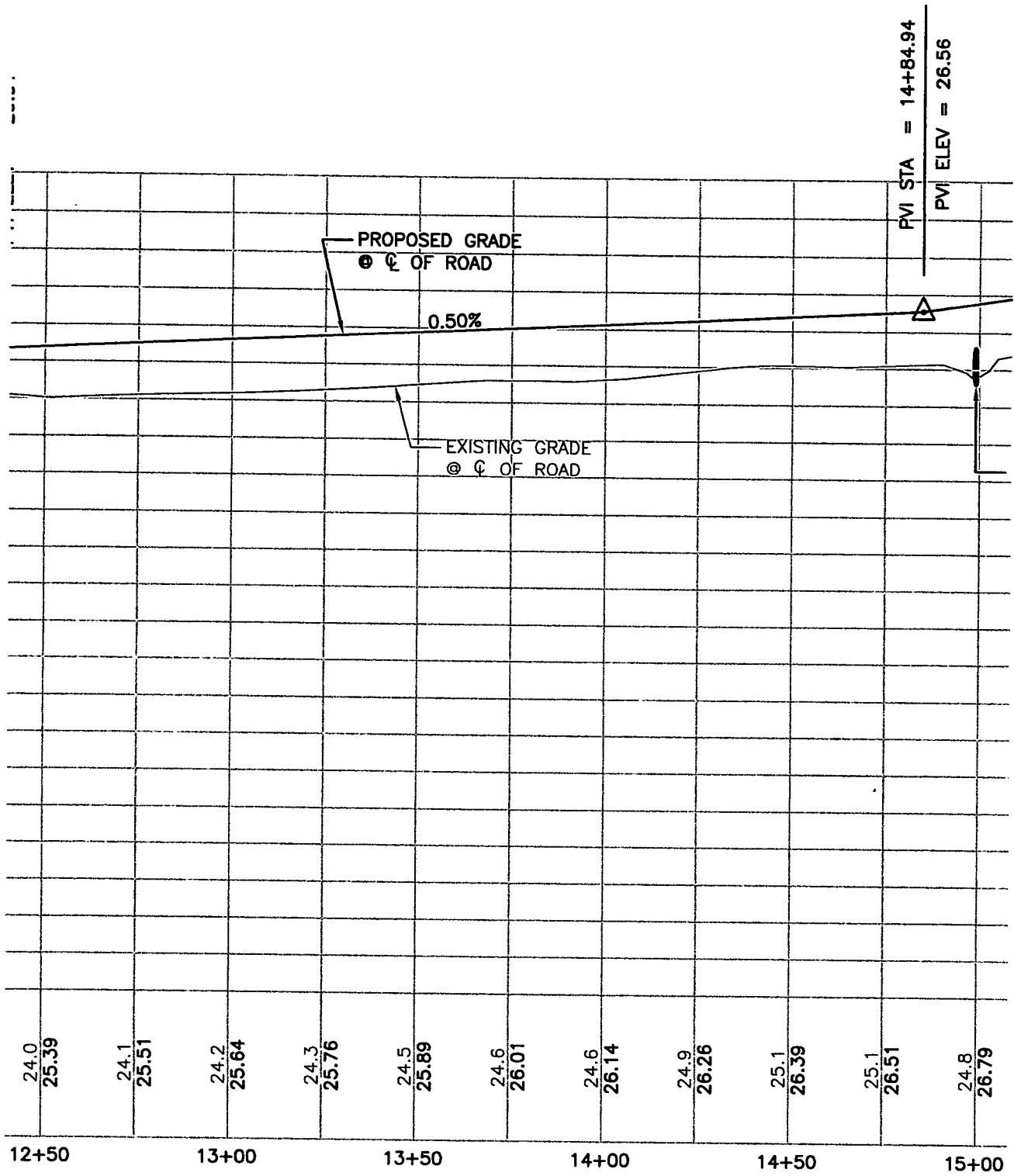
ROAD CONSTRUCTION NOTES:

1. STA 2+50 TO STA 16+00: ROAD SURFACE TO BE "SUPER-ELEVATED" (NO CENTER CROWN - ROAD PITCHED TO THE LEFT) PER THE DETAIL ON SHEET 59. PROVIDE 25' TRANSITION AT EACH END TO THE CROWNED ROAD SURFACE PER THE DETAIL ON SHEET 58. REFER TO ADDITIONAL NOTES BELOW REGARDING DITCH CONSTRUCTION THROUGH THIS SECTION.
2. STA 9+50± TO STA 12+75±: THROUGHOUT THIS SECTION THE EXISTING GRADE VARIES SIGNIFICANTLY PRIMARILY DUE TO CROSSING THE EXISTING ROAD AND IT'S DITCHES. TRANSITION IN AND OUT OF THE 4' WIDE FLAT-BOTTOM-DITCH PER ROAD DETAILS AS EXISTING GRADE DICTATES.
3. STA 12+75± TO STA 21+75±: BOTH SIDES - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

LIBER 279 FOLIO 3 | 1

DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	SHEET No. 22	PINEY POINT LANE ROAD PLAN		Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21813 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095
		EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49		

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0312, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 12+50 TO 15+00
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 3 | 2

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

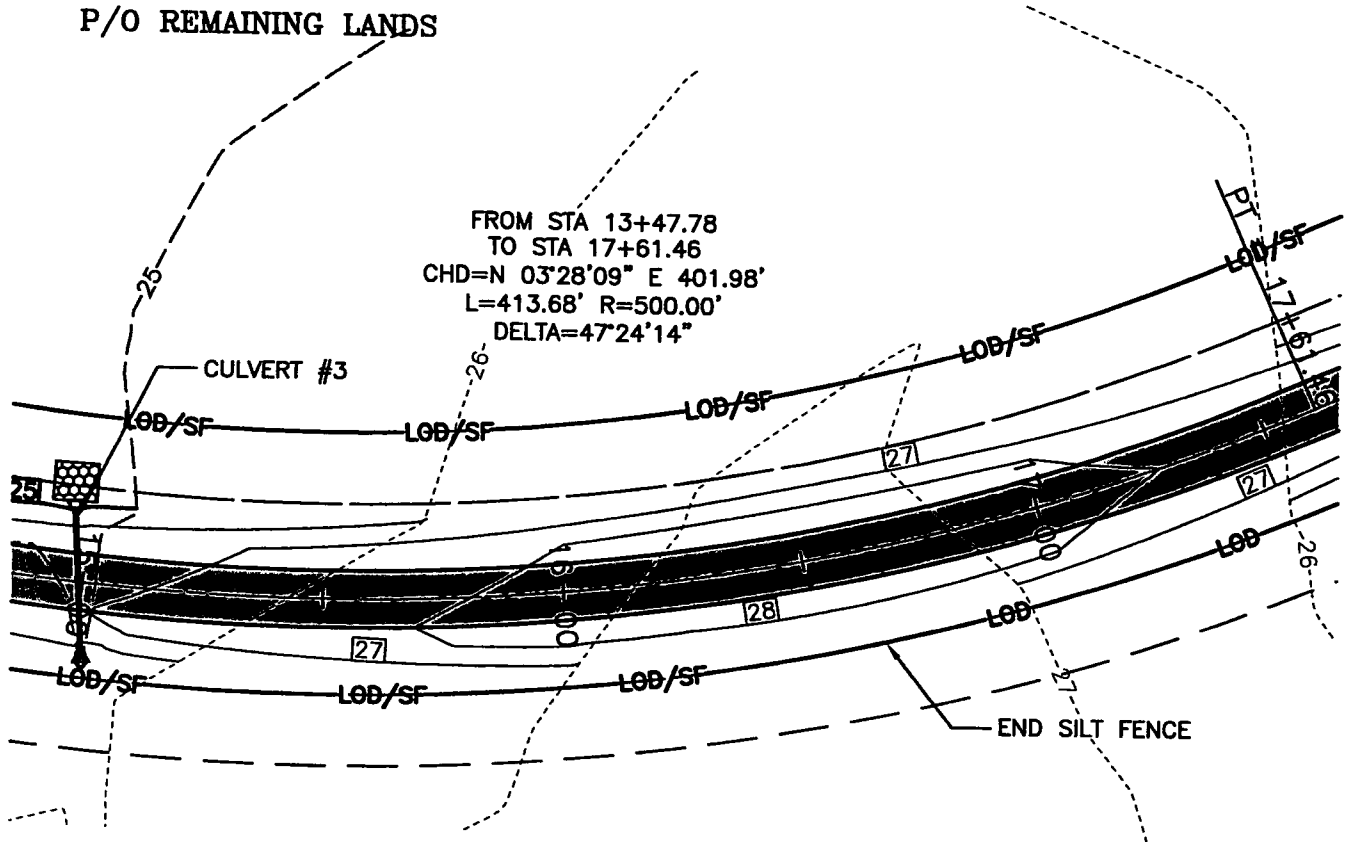
Lane Engineering, LLC
 Established 1986
 Civil Engineers • Land Planning • Land Surveyors

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 15 Washington St. Cambridge, MD 21613 (410) 221-0818
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25' NTW BUFFER

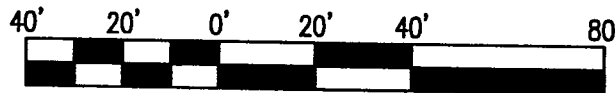
P/O REMAINING LANDS

FROM STA 13+47.78
TO STA 17+61.46
CHD=N 03°28'09" E 401.98'
L=413.68' R=500.00'
DELTA=47°24'14"



PINEY POINT LANE ROAD PLAN

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
STA 15+00 TO 17+50
SCALE: 1"=40'



SCALE IN FEET

ROAD CONSTRUCTION NOTES:

1. STA 2+50 TO STA 16+00: ROAD SURFACE TO BE "SUPER-ELEVATED" (NO CENTER CROWN - ROAD PITCHED TO THE LEFT) PER THE DETAIL ON SHEET 59. PROVIDE 25' TRANSITION AT EACH END TO THE CROWNED ROAD SURFACE PER THE DETAIL ON SHEET 58. REFER TO ADDITIONAL NOTES BELOW REGARDING DITCH CONSTRUCTION THROUGH THIS SECTION.
2. STA 12+75± TO STA 21+75±: BOTH SIDES - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

LIBER 2279 FOLIO 3 | 3

PINEY POINT LANE ROAD PLAN

EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
Civil Engineers • Land Planning • Land Surveyors



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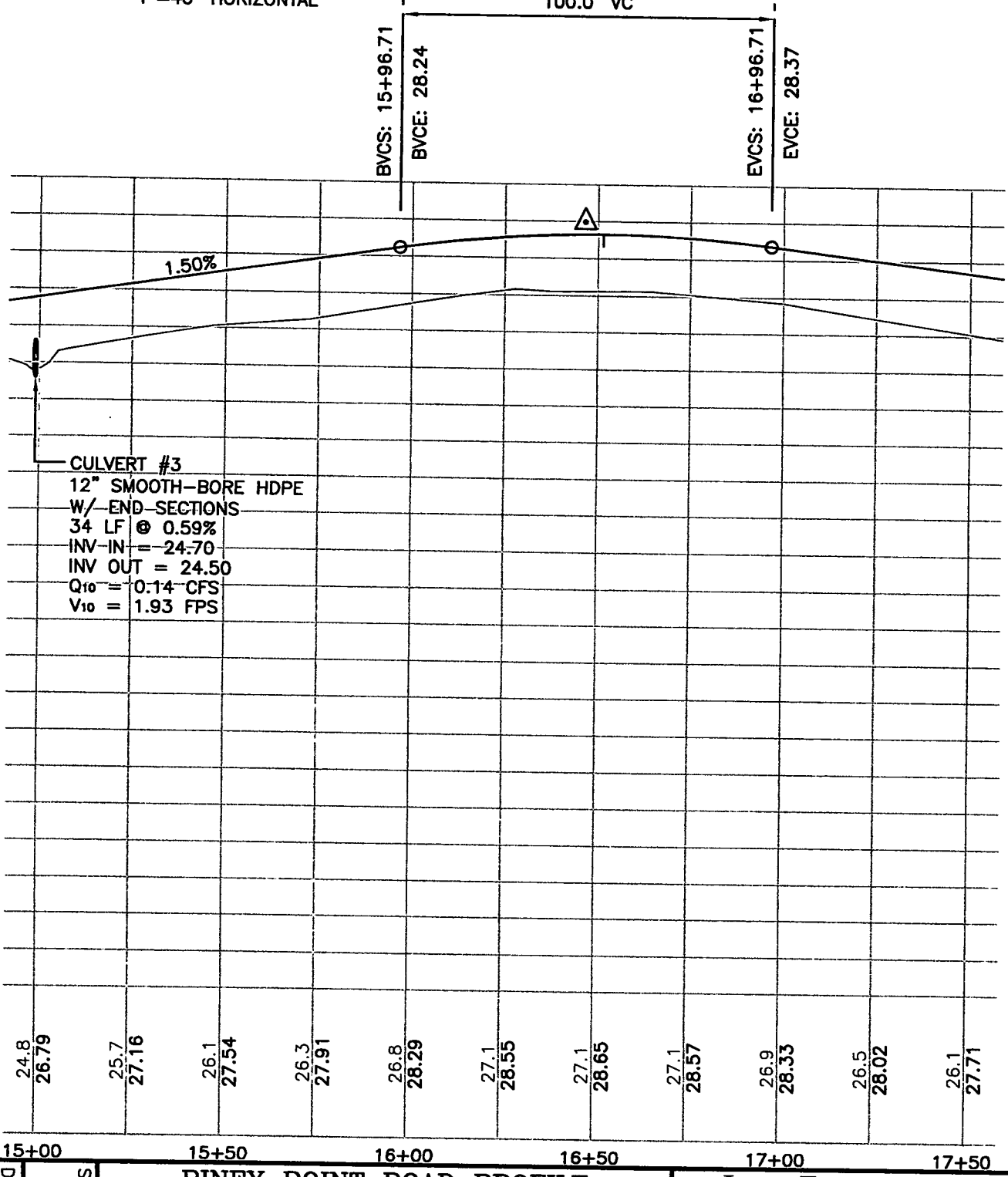
FILE No. A295	JOB No. 100237	SCALE: AS NOTED	DATE: 12/18/2014	SHEET No. 24
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0313, MSA CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

PINEY POINT LANE ROAD PROFILE

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 15+00 TO 17+50
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

HIGH POINT ELEV = 28.65
 HIGH POINT STA = 16+51.45
 PVI STA = 16+46.71
 PVI ELEV = 28.99
 A.D. = -2.74
 K = 36.48
 100.0' VC




CULVERT #3
 12" SMOOTH-BORE HDPE
 W/ END SECTIONS
 34 LF @ 0.59%
 INV IN = 24.70
 INV OUT = 24.50
 Q₁₀ = 0.14 CFS
 V₁₀ = 1.93 FPS

24.8	25.7	26.1	26.3	26.8	27.1	27.1	27.1	26.9	26.5	26.1
26.79	27.16	27.54	27.91	28.29	28.55	28.65	28.57	28.33	28.02	27.71
15+00	15+50	16+00	16+50	17+00	17+50					

LIBER 2279 FOLIO 314

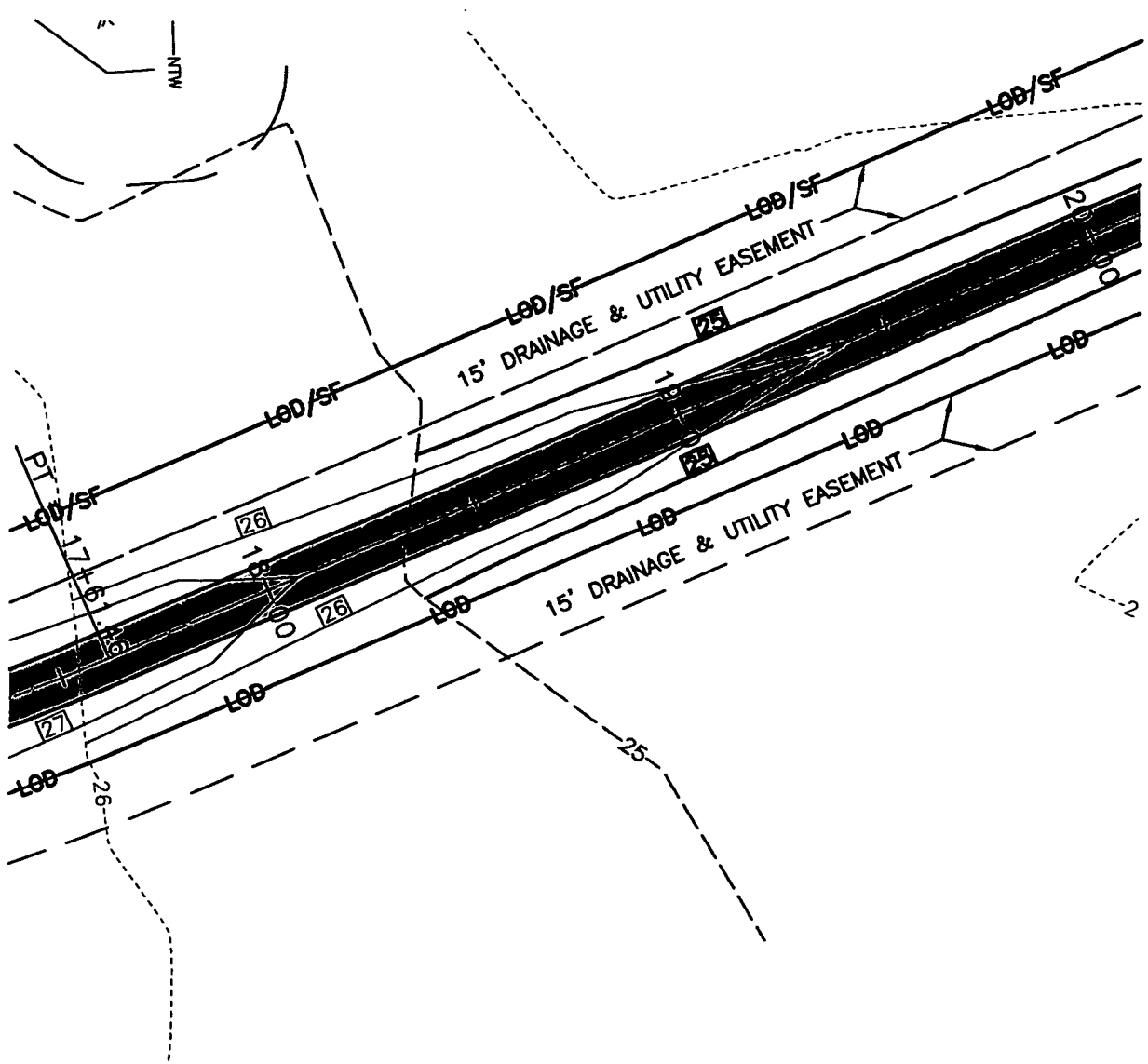
FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 25

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

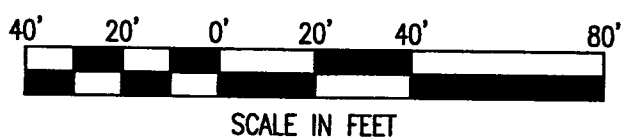
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0314, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0315, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PLAN
40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
STA 17+50 TO 20+00
SCALE: 1"=40'



ROAD CONSTRUCTION NOTES:

- 1. STA 12+75± TO STA 21+75±: BOTH SIDES - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

LIBER 2279 FOLIO 3 | 5

PINEY POINT LANE ROAD PLAN

**EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
Civil Engineers • Land Planning • Land Surveyors

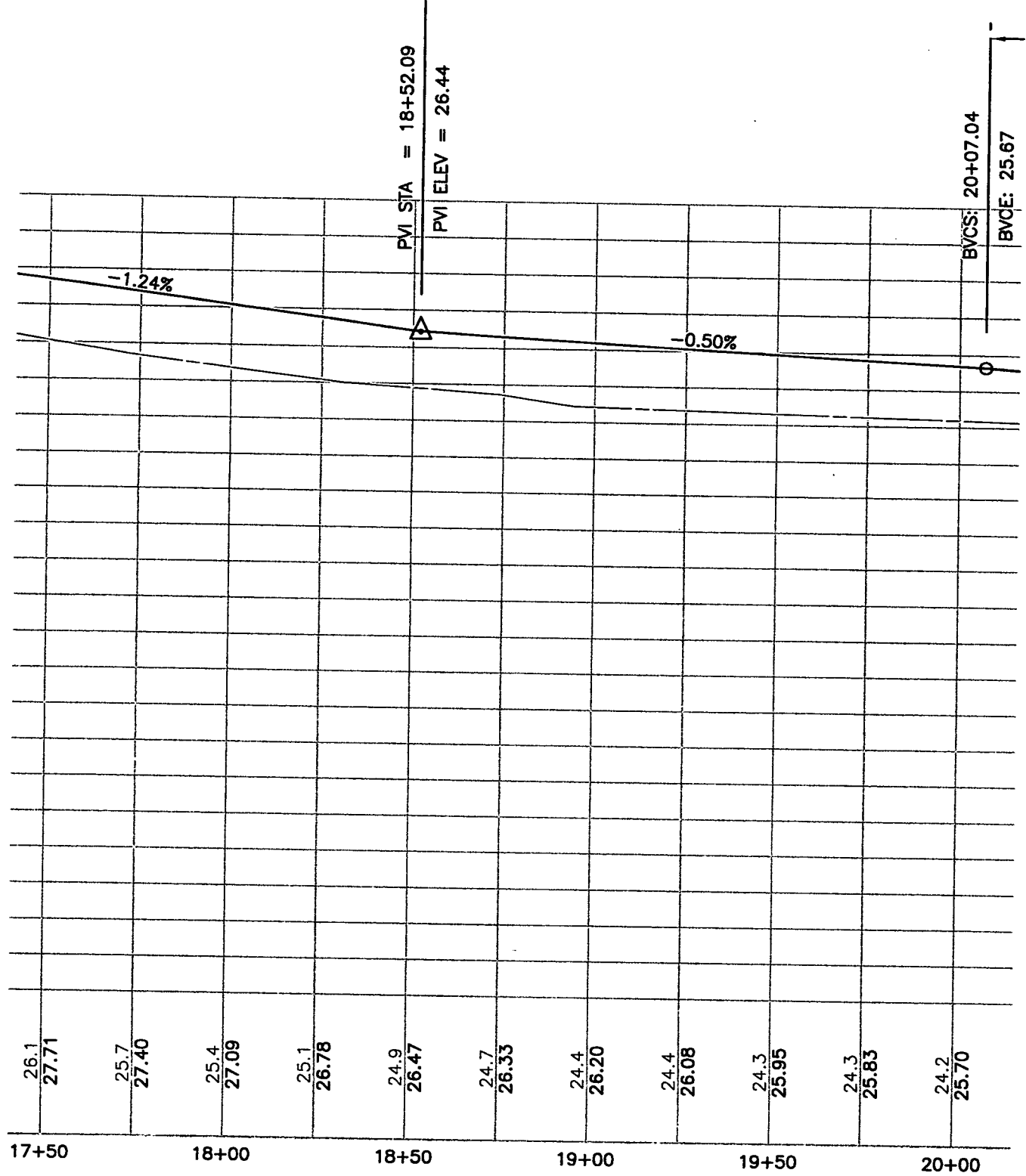


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DATE: 12/18/2014
SCALE: AS NOTED
JOB No. 100237
FILE No. A295

SHEET No.
26

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0316, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.




PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 17+50 TO 20+00
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 316

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC
 Established 1986
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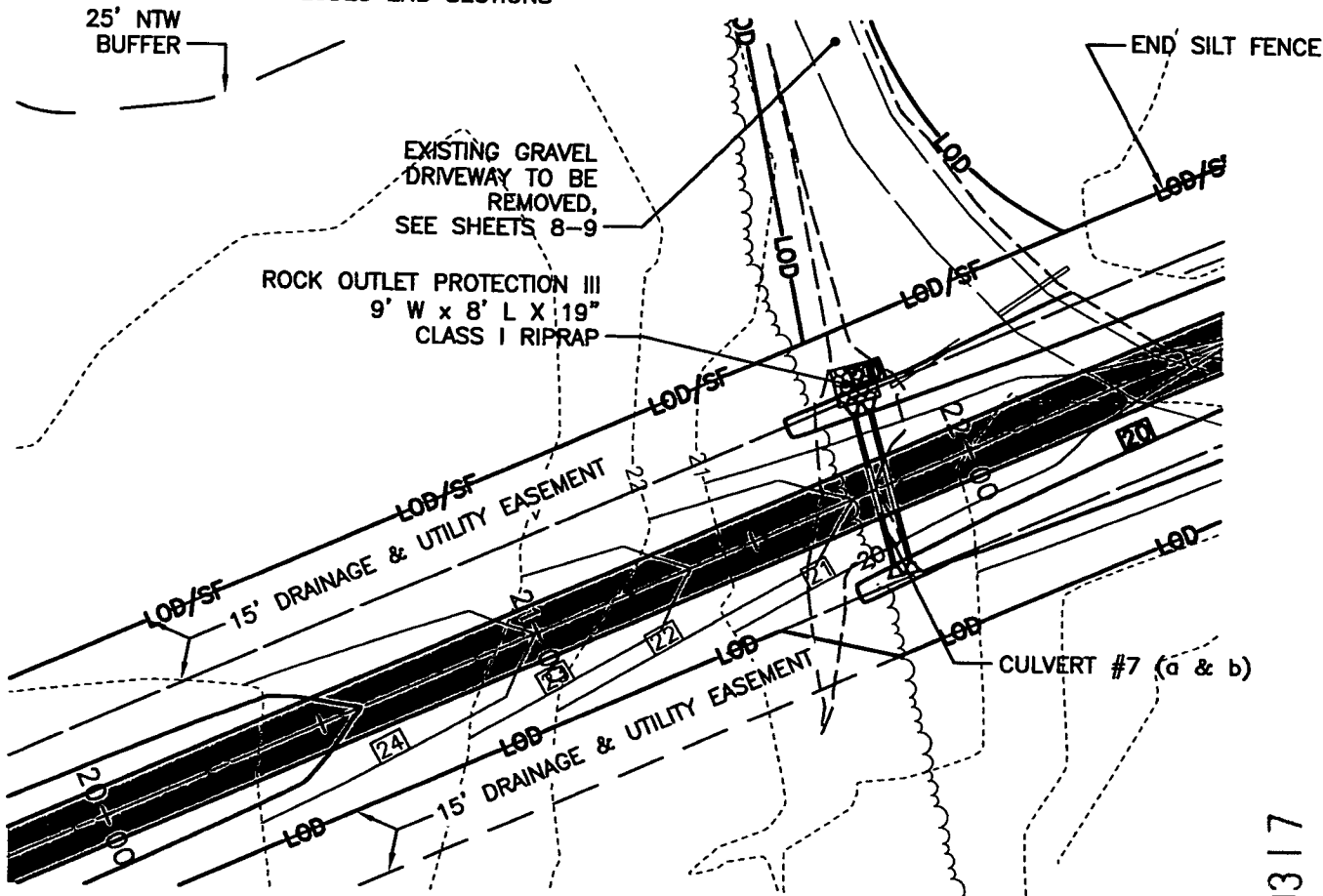


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 117 Bay St. Easton, MD 21601 (410) 822-8003
 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

CULVERT TABLE

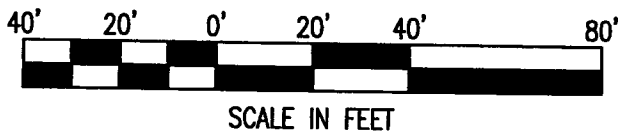
CULVERT	TYPE	LENGTH*	SLOPE	INVERT IN		INVERT OUT	
				STATION	ELEVATION	STATION	ELEVATION
#7a	12" HDPE	38 LF	0.526%	21+75.04; 19' (R)	19.65	21+80.93; 19' (L)	19.45
#7b	12" HDPE	38 LF	0.526%	21+78.50; 19' (R)	19.65	21+84.39; 18' (L)	19.45

*LENGTH INCLUDES END SECTIONS



PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 20+00 TO 22+50
 SCALE: 1"=40'

NAD 83 (CORS)
 MARYLAND STATE PLANE



ROAD CONSTRUCTION NOTES:

- STA 12+75± TO STA 21+75±: BOTH SIDES -- NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT EACH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 58-59.

PINEY POINT LANE ROAD PLAN

EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

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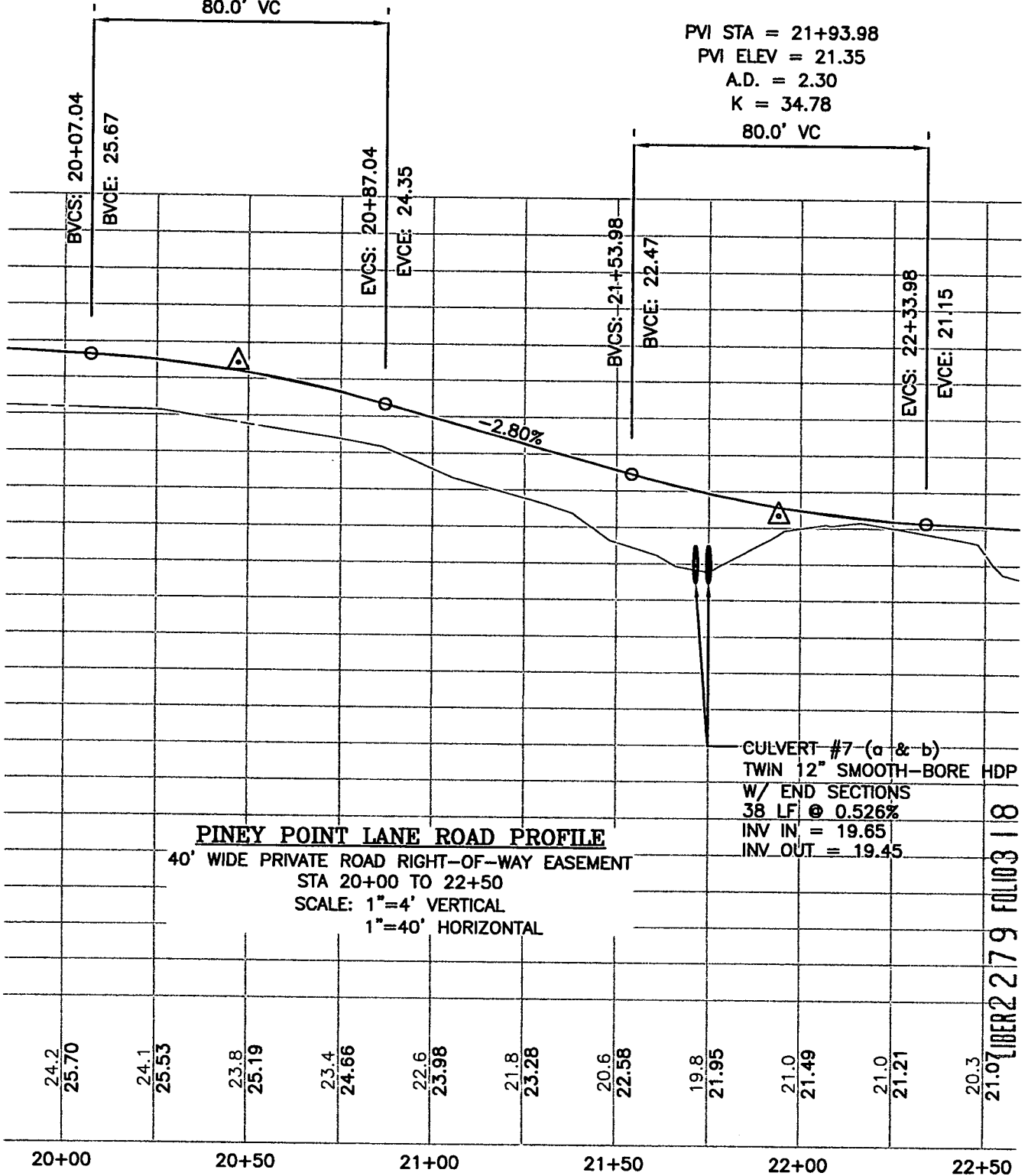
SHEET No. **28**
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

LIBER 2279 FOLIO 317

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0317, MSA_CE91_2218, Date available 07/27/2015, Printed 04/27/2023.

PVI STA = 20+47.04
 PVI ELEV = 25.47
 A.D. = -2.30
 K = 34.78
 80.0' VC

PVI STA = 21+93.98
 PVI ELEV = 21.35
 A.D. = 2.30
 K = 34.78
 80.0' VC



PINEY POINT LANE ROAD PROFILE

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 20+00 TO 22+50
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

CULVERT #7 (a & b)
 TWIN 12" SMOOTH-BORE HDP
 W/ END SECTIONS
 38 LF @ 0.526%
 INV IN = 19.65
 INV OUT = 19.45

21.07
 21.0
 21.49
 21.0
 21.21
 20.3
 21.07
 21.9
 21.03
 18

20+00 20+50 21+00 21+50 22+00 22+50

PINEY POINT ROAD PROFILE

**EXHIBIT A
 PRIVATE ROAD DESIGN FOR
 PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
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 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

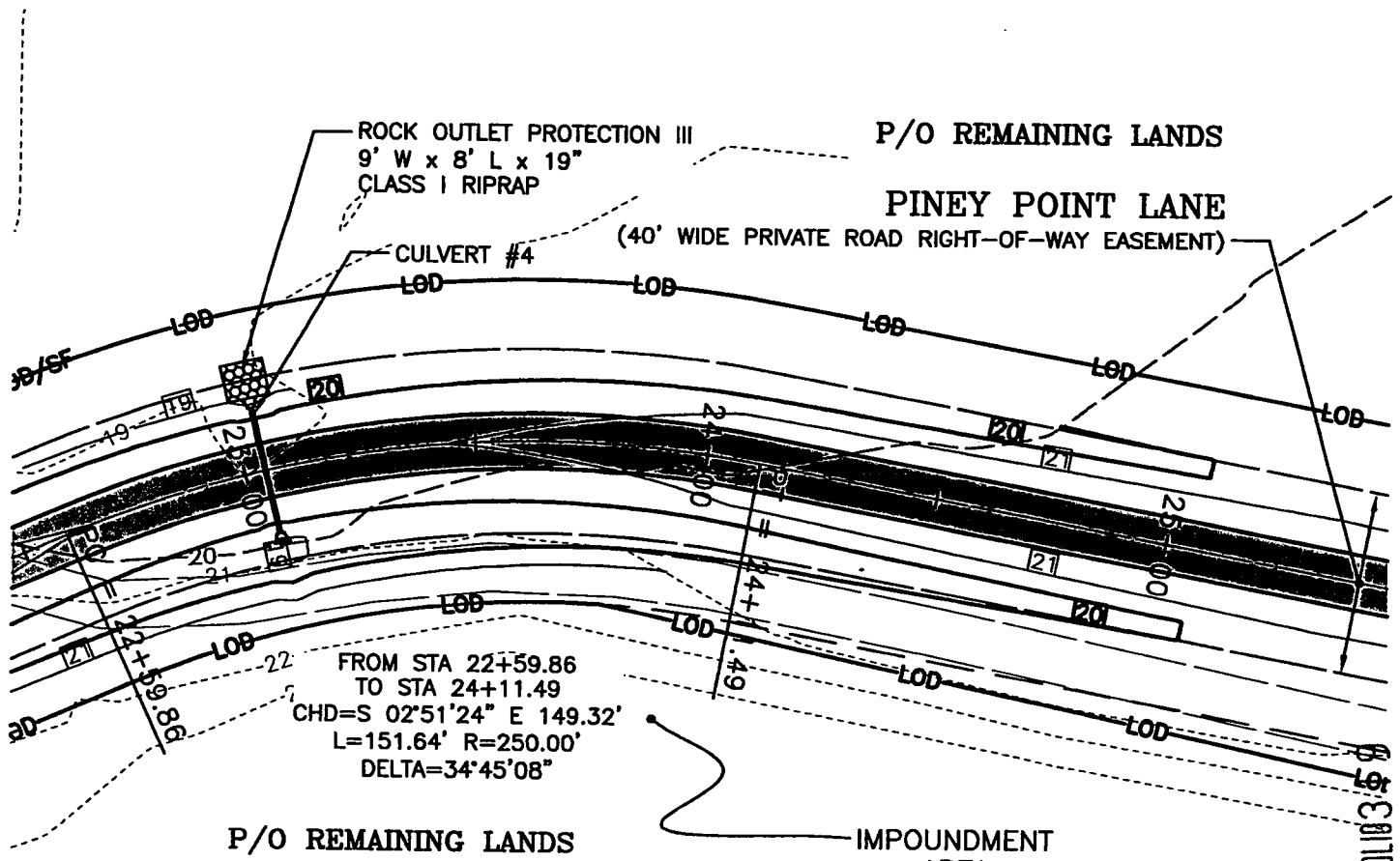
SHEET No.
29

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

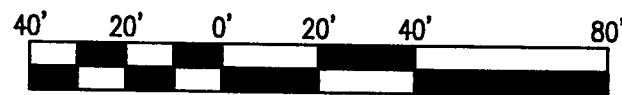
CULVERT TABLE

CULVERT #	TYPE	LENGTH*	SLOPE	INVERT IN		INVERT OUT	
				STATION	ELEVATION	STATION	ELEVATION
#4	12" HDPE	32 LF	0.625%	23+04.49; 16' (R)	18.75	23+04.49; 16' (L)	18.55

*LENGTH INCLUDES END SECTIONS



PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 22+50 TO 25+00
 SCALE: 1"=40'



SCALE IN FEET

PINEY POINT LANE ROAD PLAN

EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

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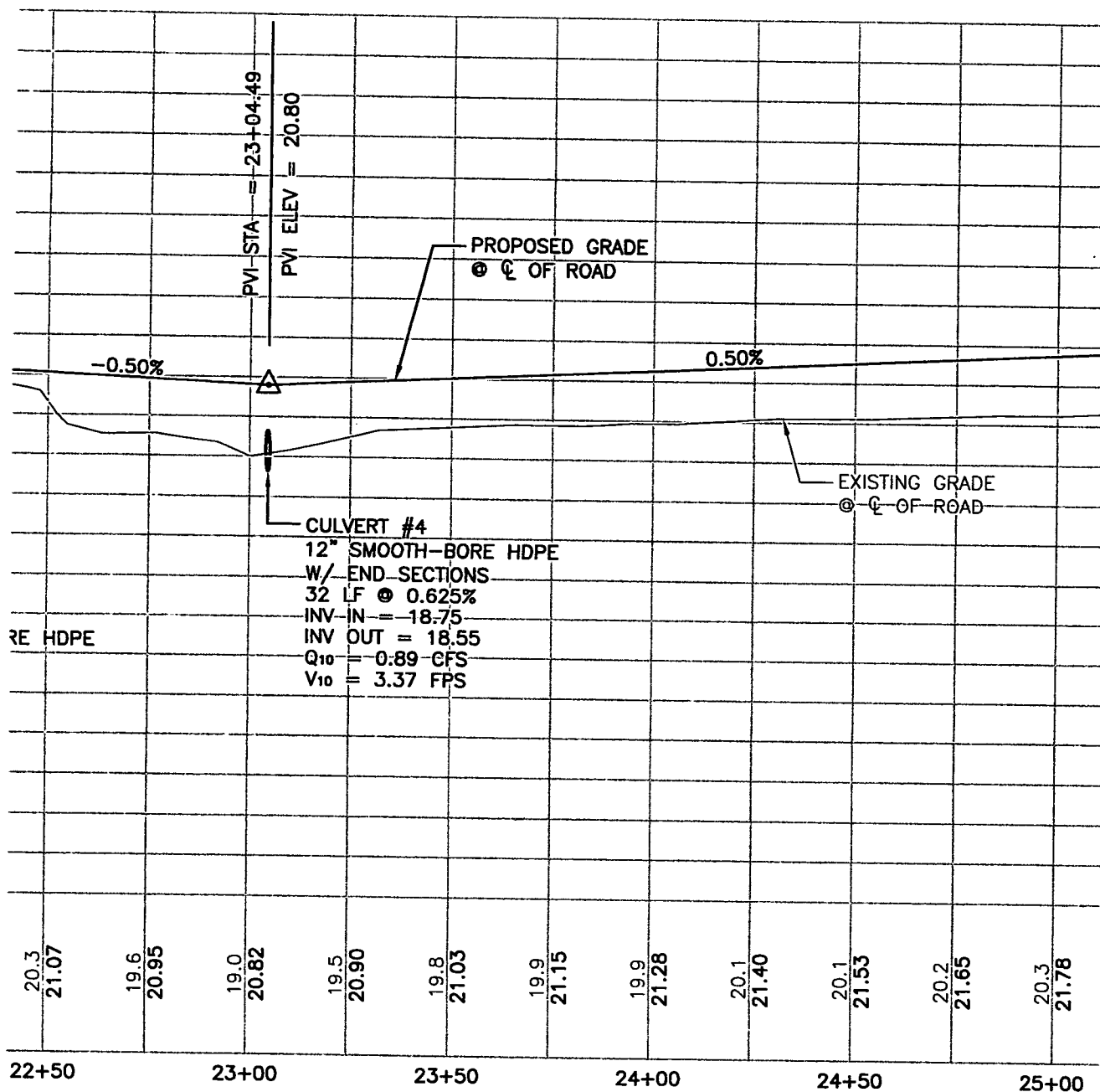
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DATE: 12/18/2014	SHEET No.	30
SCALE: AS NOTED	JOB No. 100237	
FILE No. A295		

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0319, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

LIBER 2279 FOLIO 30

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0320, MSA_CE91_2218, Date available 07/27/2015, Printed 04/27/2023.




LIBER 2279 FOLIO 320

PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 22+50 TO 25+00
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 31

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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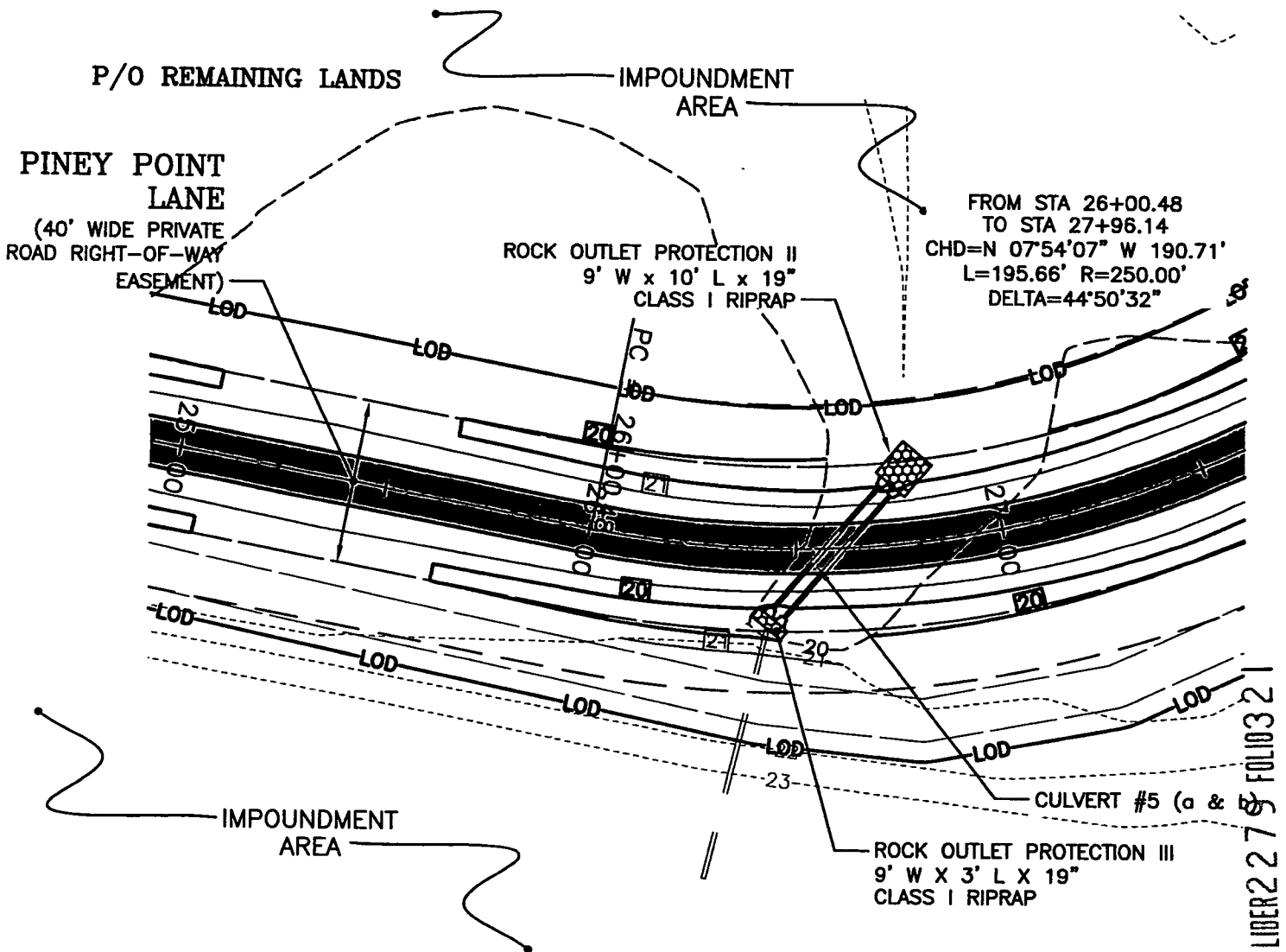


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CULVERT TABLE

CULVERT	TYPE	LENGTH*	SLOPE	INVERT IN		INVERT OUT	
				STATION	ELEVATION	STATION	ELEVATION
#5a	12" HDPE	43.3 LF	0.46%	26+43.57; 16' (R)	19.30	26+72.82; 16' (L)	19.10
#5b	12" HDPE	43.3 LF	0.46%	26+46.11; 18' (R)	19.30	26+75.40; 13.5' (L)	19.10

*LENGTH INCLUDES END SECTIONS



PINEY POINT LANE ROAD PLAN

40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
STA 25+00 TO 27+50
SCALE: 1"=40'



SCALE IN FEET

LIBER 27 & FOLIO 321

PINEY POINT LANE ROAD PLAN

**EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

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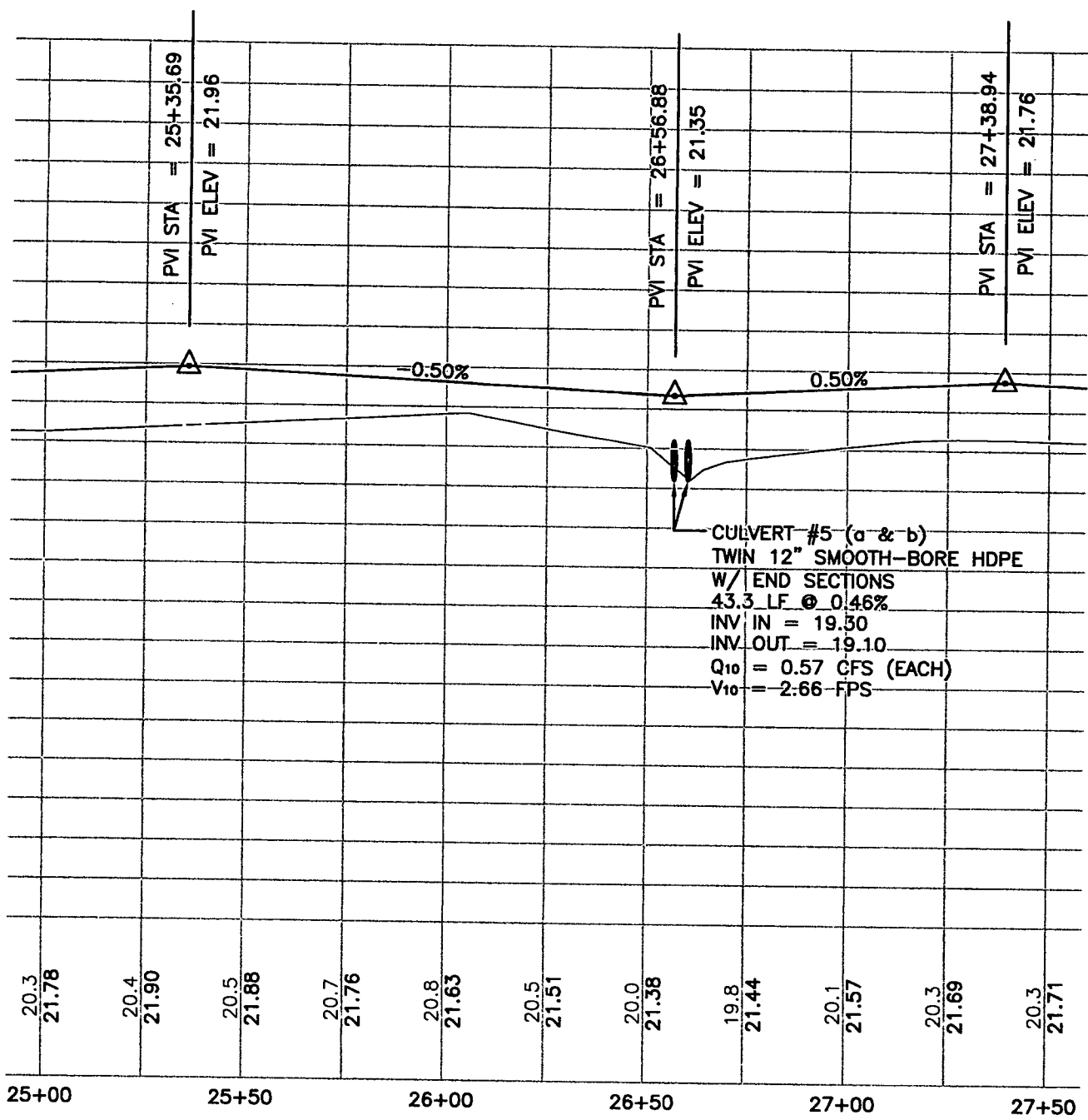


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FILE No. A295	JOB No. 100237	SCALE: AS NOTED	DATE: 12/18/2014	SHEET No. 32
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0321, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0322, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



CULVERT #5 (a & b)
 TWIN 12" SMOOTH-BORE HDPE
 W/ END SECTIONS
 43.3 LF @ 0.46%
 INV IN = 19.30
 INV OUT = 19.10
 Q₁₀ = 0.57 CFS (EACH)
 V₁₀ = 2.66 FPS


PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 25+00 TO 27+50
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 322

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

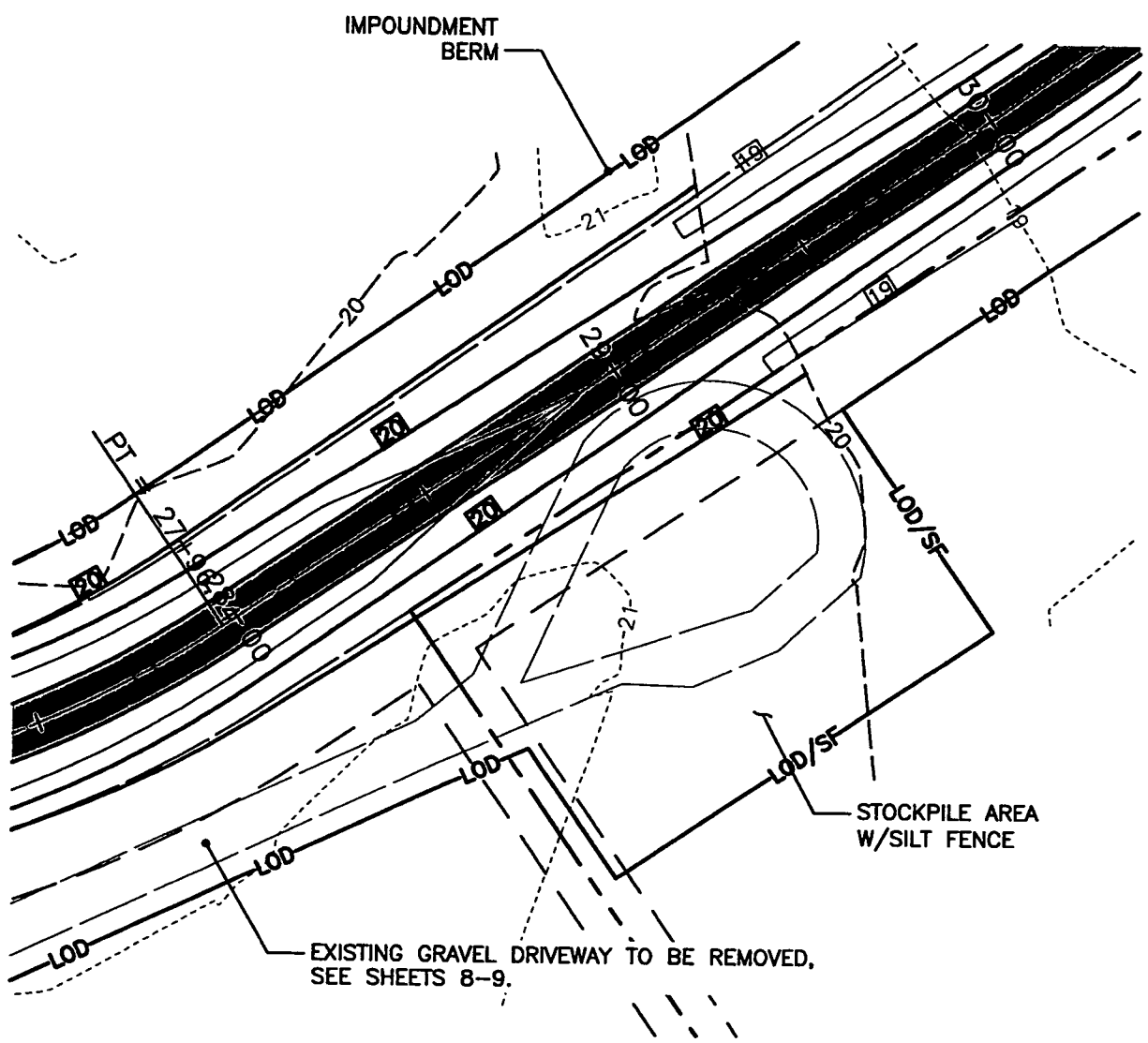
PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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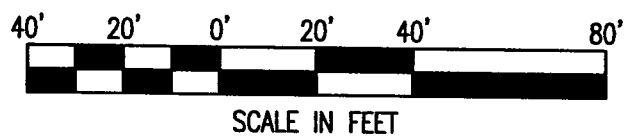
E-mail: mail@leinc.com
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0323, MSA_CE91_2218, Date available 07/27/2015. Printed 04/27/2023.



LIBER 2279 FOLIO 323

PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 27+50 TO 30+00
 SCALE: 1"=40'



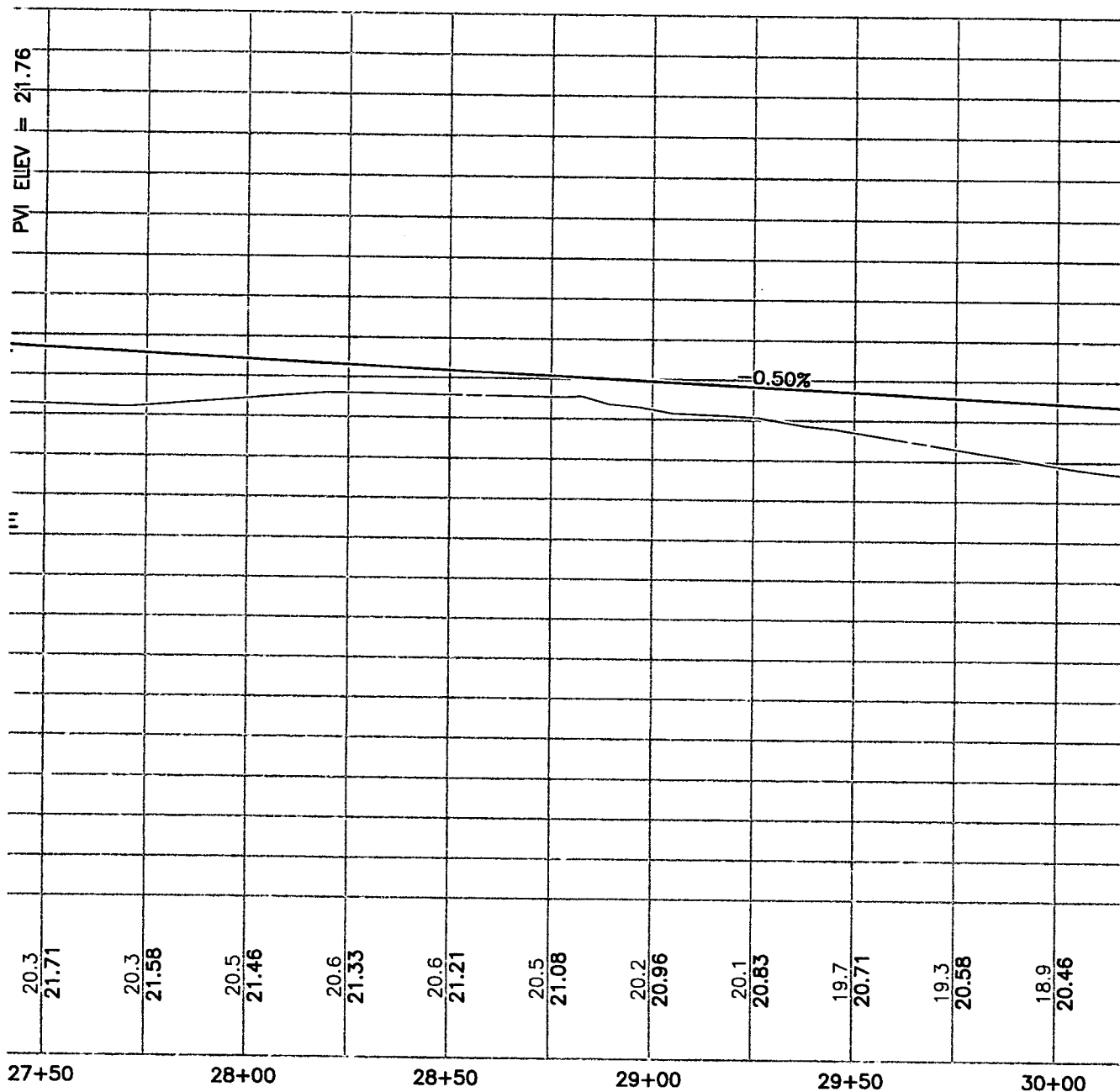
FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 34

PINEY POINT LANE ROAD PLAN
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0324, MSA CE91 2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 27+50 TO 30+00
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 324

PINEY POINT ROAD PROFILE

**EXHIBIT A
 PRIVATE ROAD DESIGN FOR
 PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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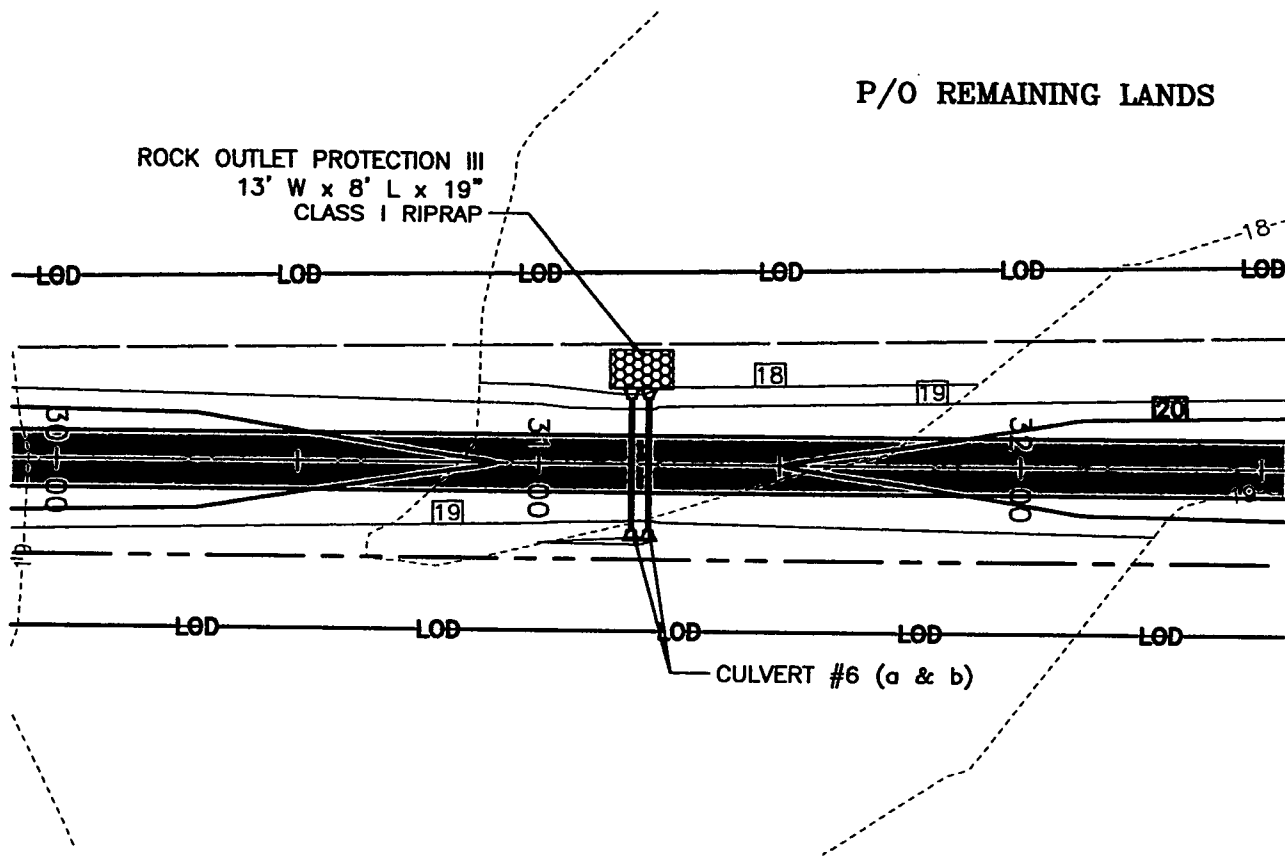
DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

SHEET No.
35

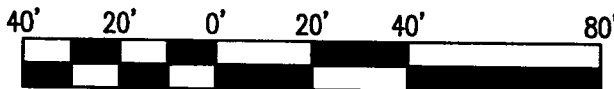
CULVERT TABLE

CULVERT	TYPE	LENGTH*	SLOPE	INVERT IN		INVERT OUT	
				STATION	ELEVATION	STATION	ELEVATION
#6a	12" HDPE	32 LF	1.0%	31+19.25; 16' (R)	17.95	31+19.25; 16' (L)	17.60
#6b	12" HDPE	32 LF	1.0%	31+22.75; 16' (R)	17.95	31+22.75; 16' (L)	17.60

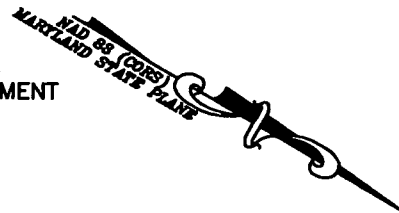
*LENGTH INCLUDES END SECTIONS



PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 30+00 TO 32+50
 SCALE: 1"=40'



SCALE IN FEET



LIBER 2279 FOLIO 325

PINEY POINT LANE ROAD PLAN

EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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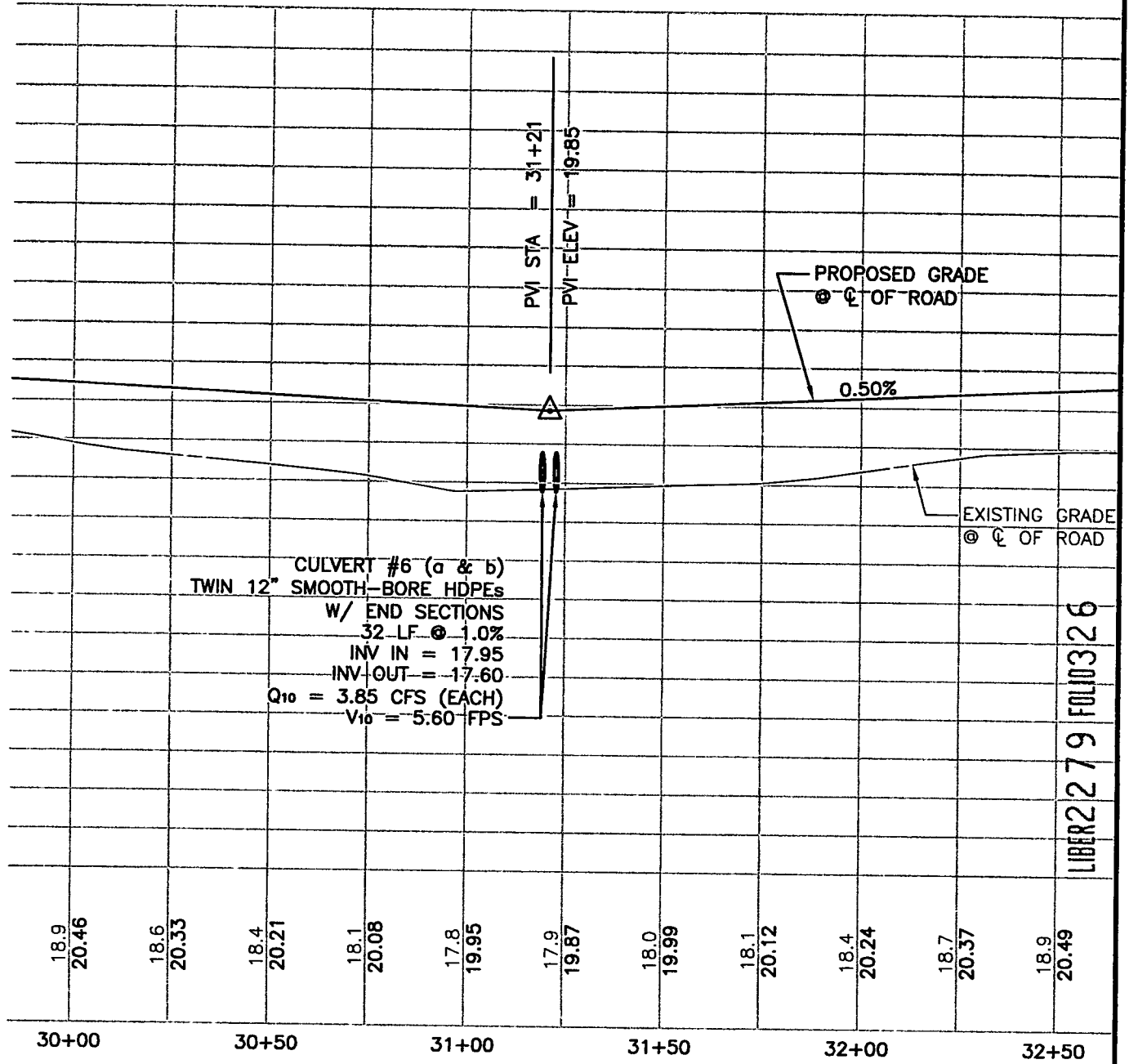


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SHEET No. **36**
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0325, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0326, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.




LIBER 2279 FOLIO 326

PINEY POINT LANE ROAD PROFILE
40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
STA 30+00 TO 32+50
SCALE: 1"=4' VERTICAL
1"=40' HORIZONTAL

PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

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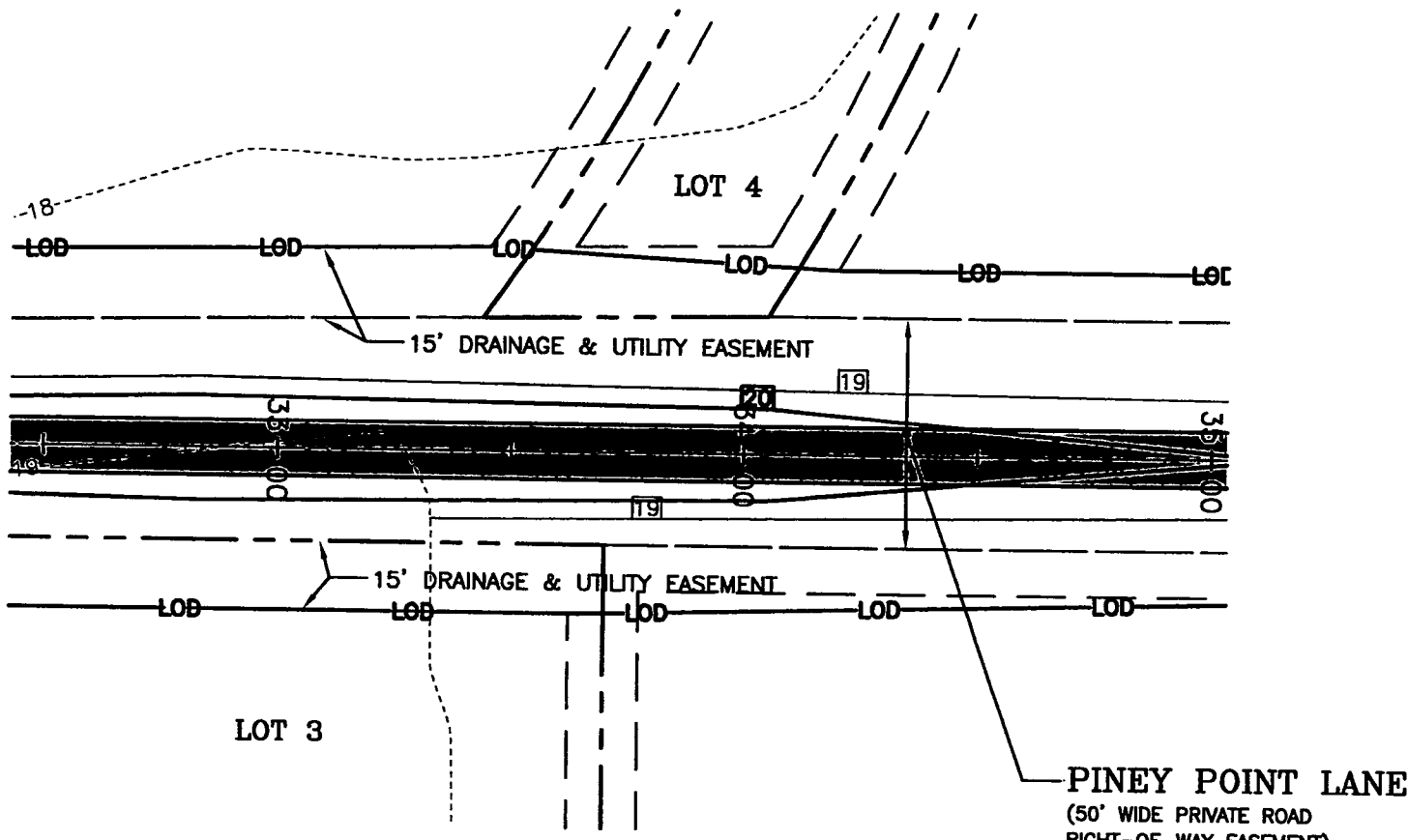


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SHEET No.
37

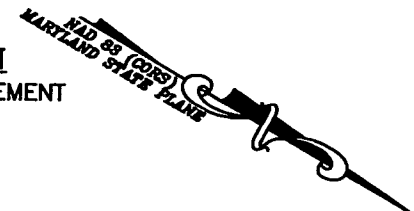
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SCALE: AS NOTED
JOB No. 100237
FILE No. A295

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0327, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 32+50 TO 35+00
 SCALE: 1"=40'

SCALE IN FEET



LIBER 2279 FOLIO 327

ROAD CONSTRUCTION NOTES:

1. STA 30+20± TO END: BOTH SIDES - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT SOUTH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 61-62.

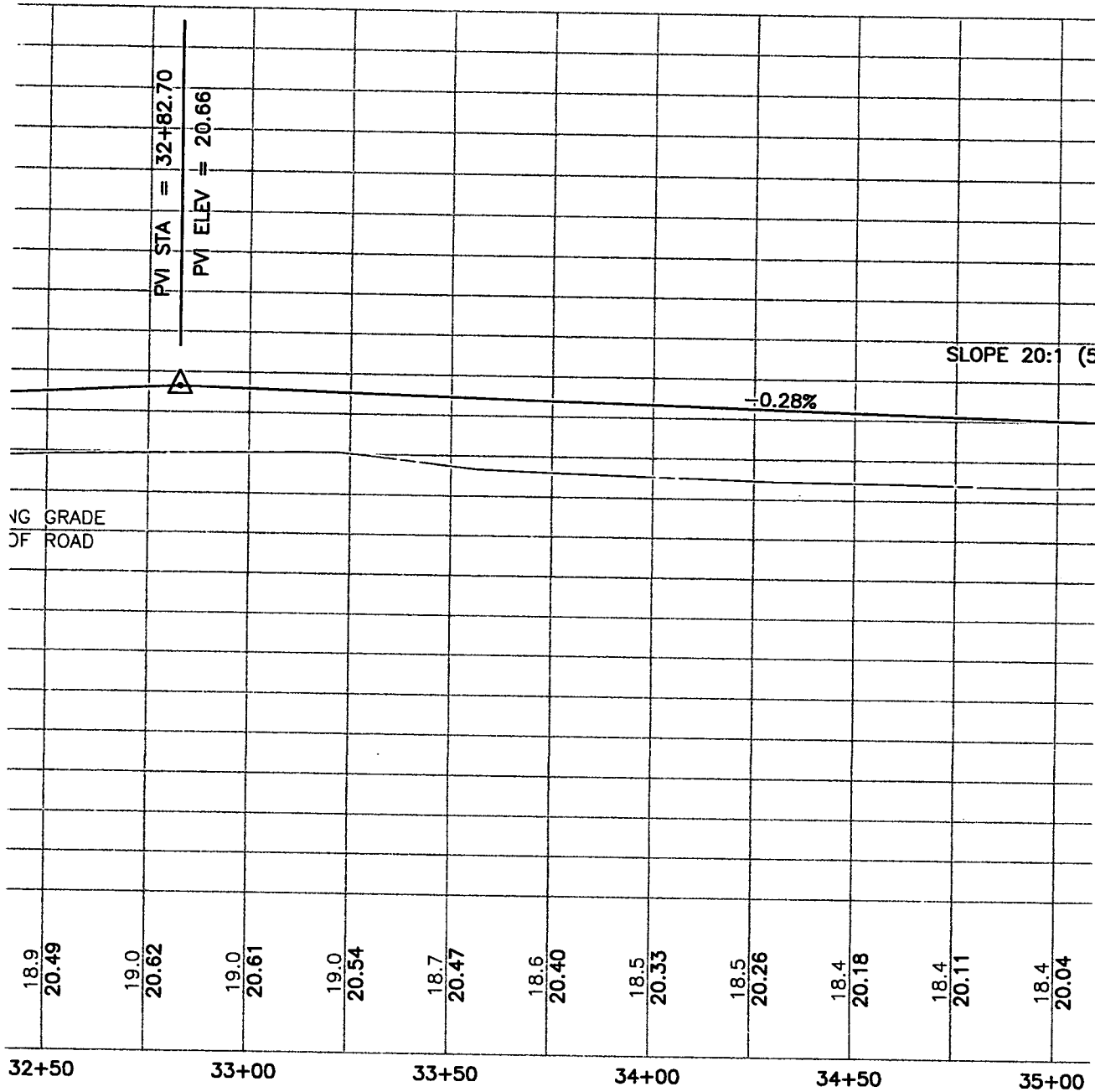
FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 38

PINEY POINT LANE ROAD PLAN
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0328, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



LIBER 2279 FOLIO 328

PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 32+50 TO 35+00
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

SHEET No.
39

PINEY POINT ROAD PROFILE

EXHIBIT A

PRIVATE ROAD DESIGN FOR

PINEY POINT FARM

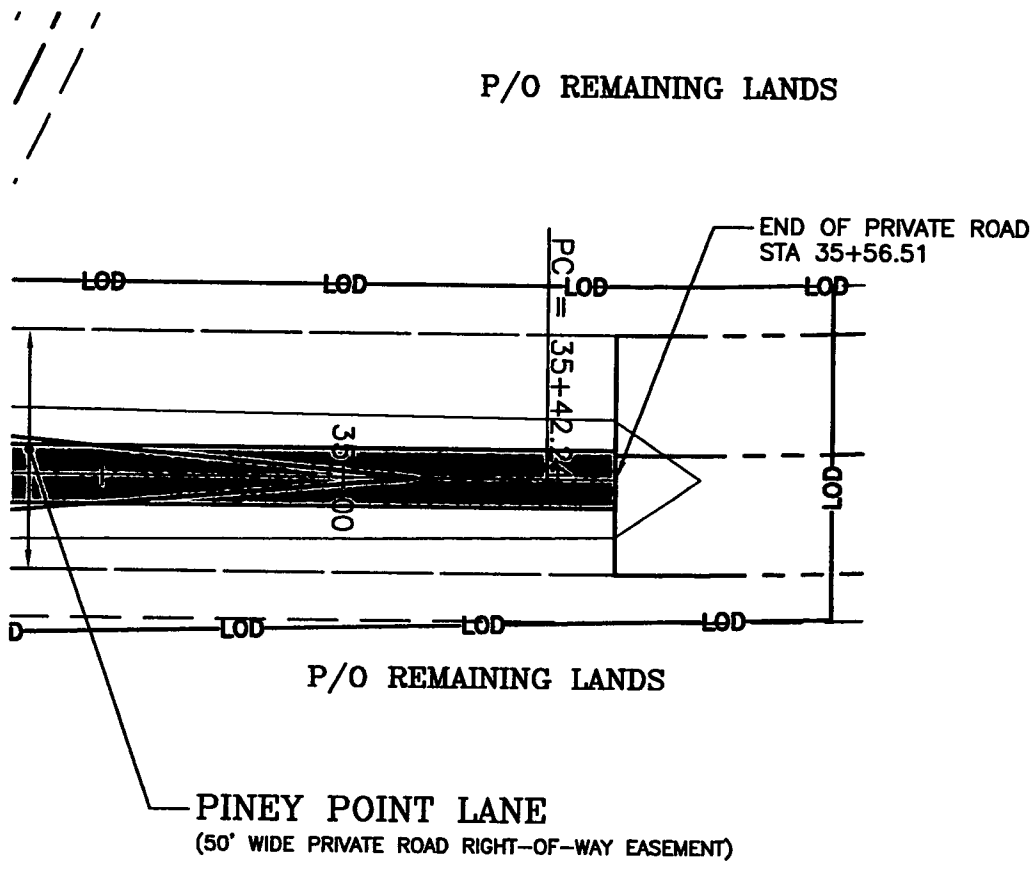
TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

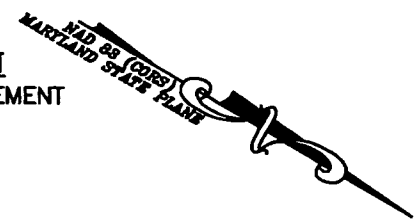
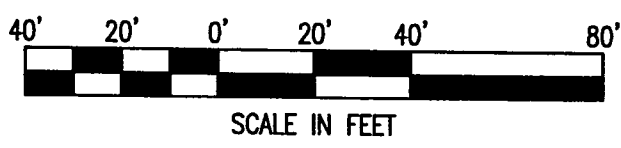
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0329, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



PINEY POINT LANE ROAD PLAN
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 35+00 TO 35+56.51
 SCALE: 1"=40'



LIBER 279 FOLIO 329

ROAD CONSTRUCTION NOTES:

1. STA 30+20± TO END: BOTH SIDES - NO DITCH. GRADE AT 4:1 FROM SHOULDER TO EXISTING GRADE. AT SOUTH END, WHERE EXISTING GRADE PERMITS, TRANSITION TO 4' WIDE FLAT-BOTTOM DITCH PER ROAD DETAILS ON SHEETS 61-62.

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 40

PINEY POINT LANE ROAD PLAN

EXHIBIT A

PRIVATE ROAD DESIGN FOR PINEY POINT FARM

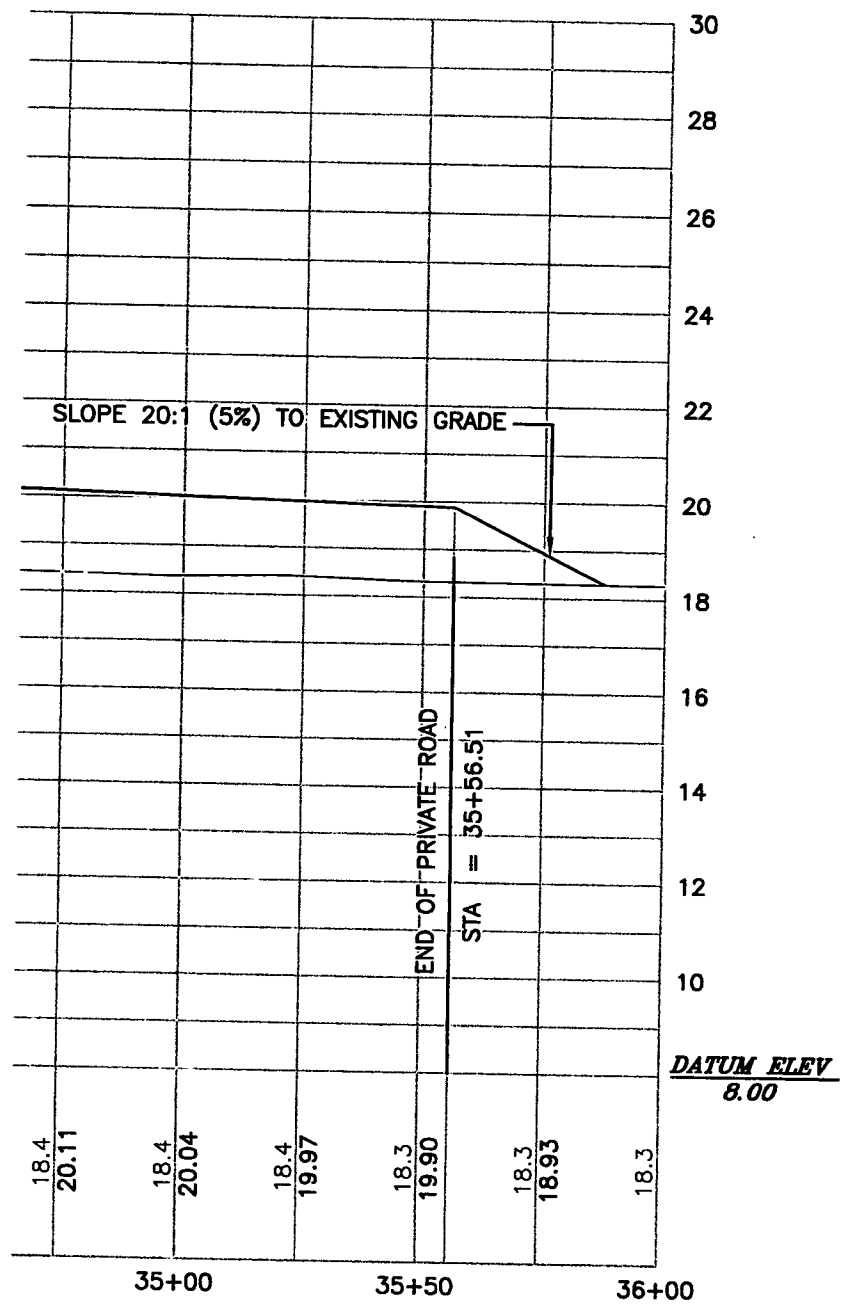
TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0330, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.




PINEY POINT LANE ROAD PROFILE
 40' WIDE PRIVATE ROAD RIGHT-OF-WAY EASEMENT
 STA 35+00 TO 35+56.51
 SCALE: 1"=4' VERTICAL
 1"=40' HORIZONTAL

LIBER 2279 FOLIO 330

SHEET No. 41
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

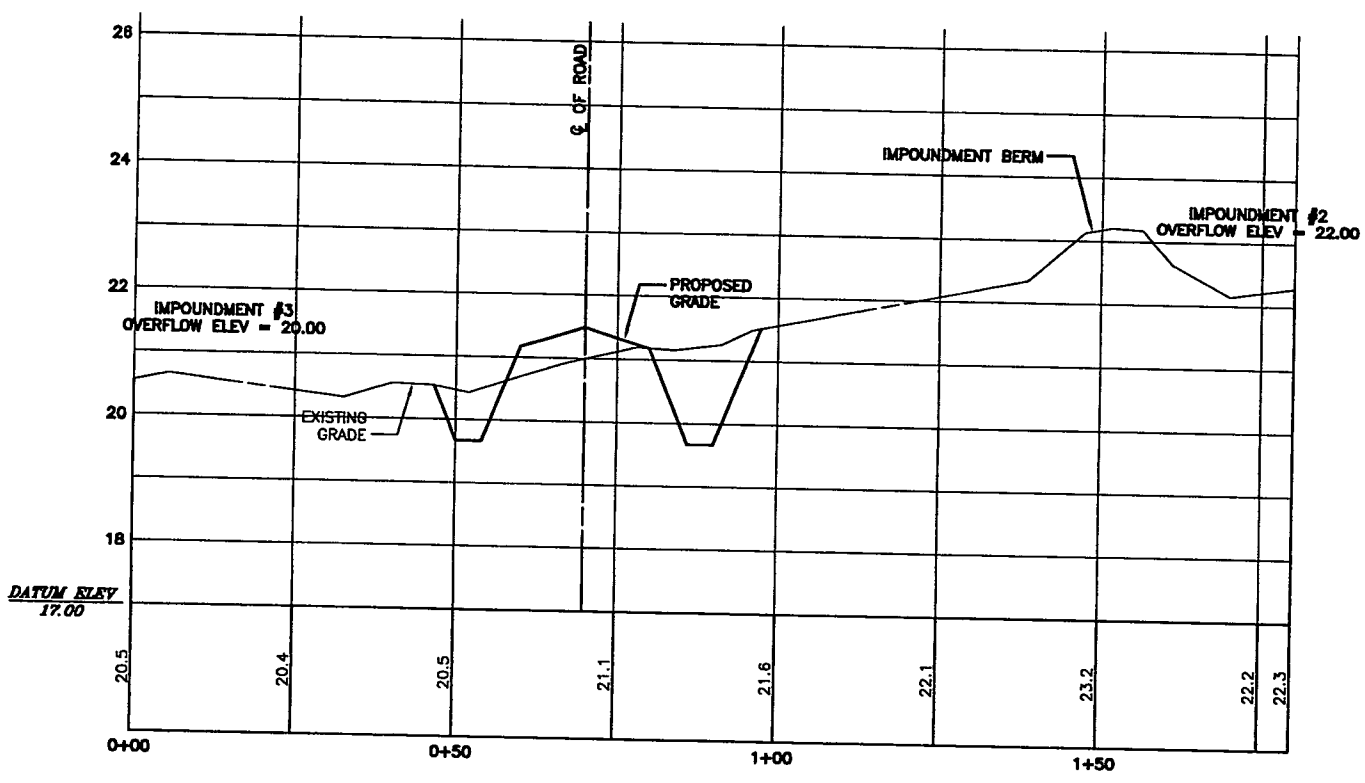
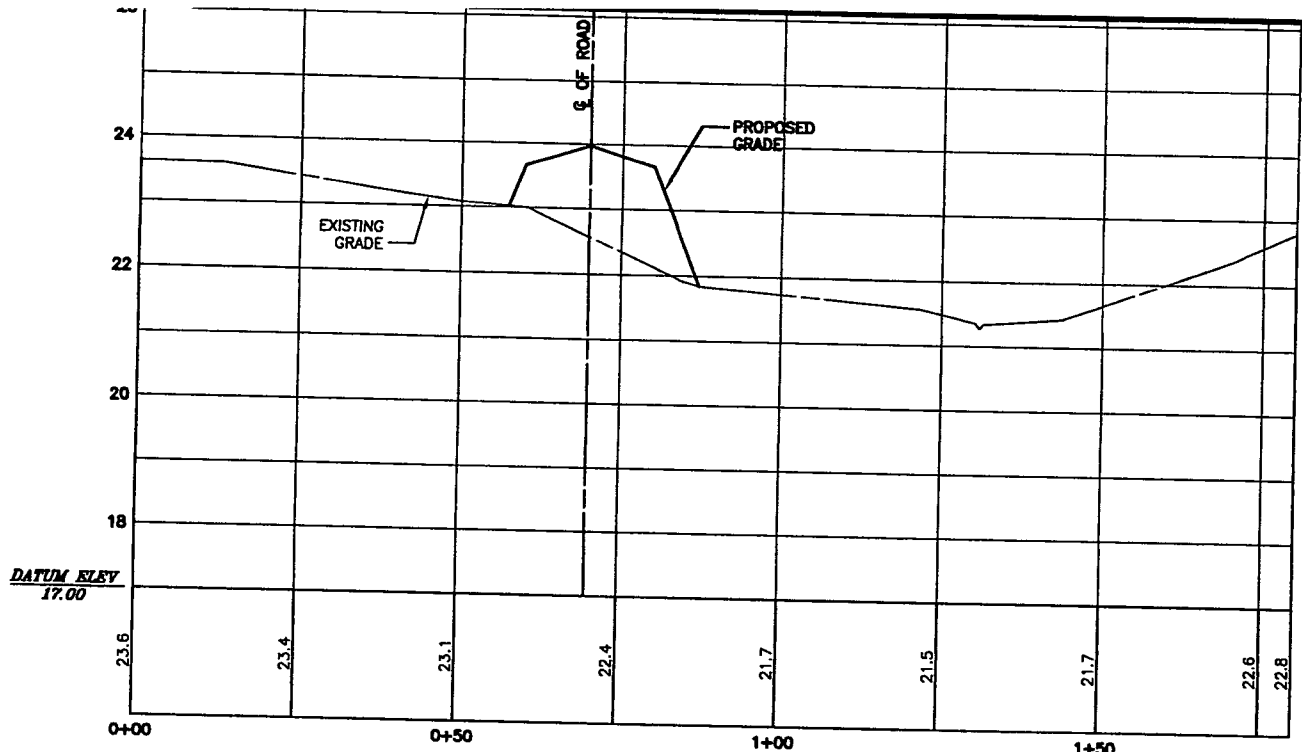
PINEY POINT ROAD PROFILE
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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LIBER 2279 FOLIO 331

SHEET No.
42

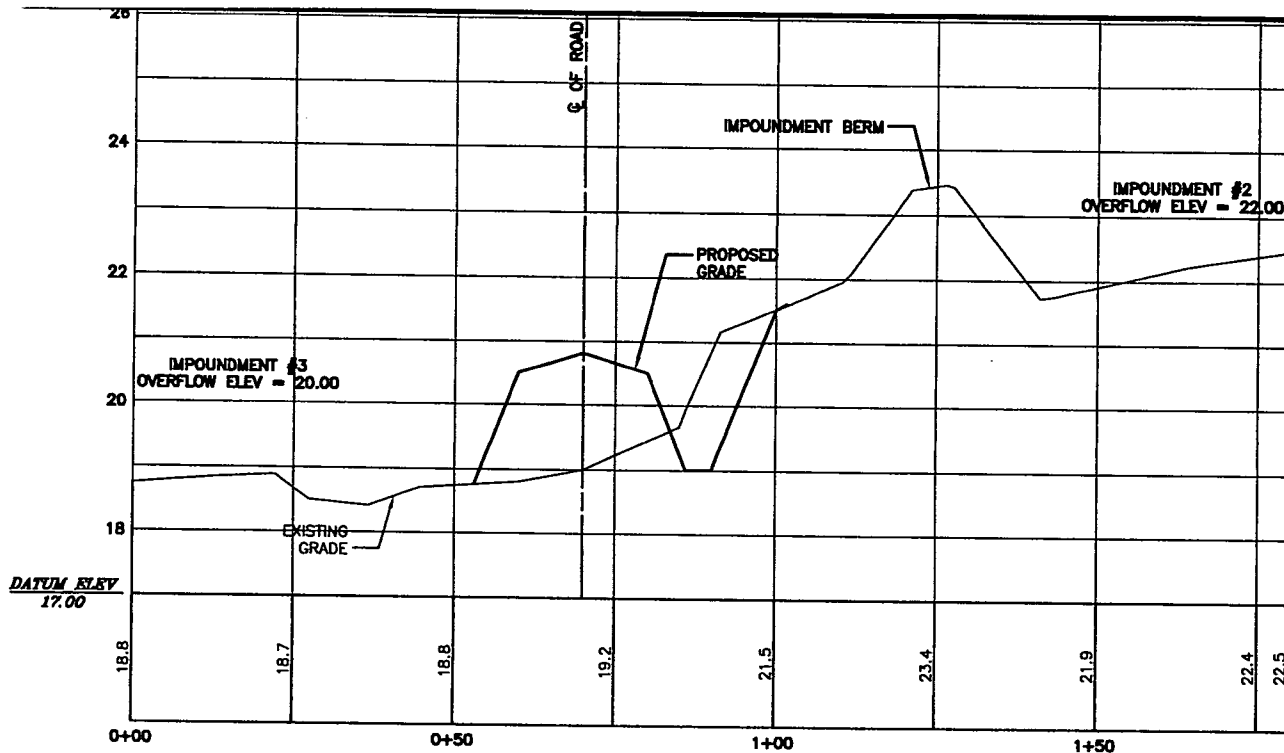
PINEY POINT LANE CROSS SECTIONS
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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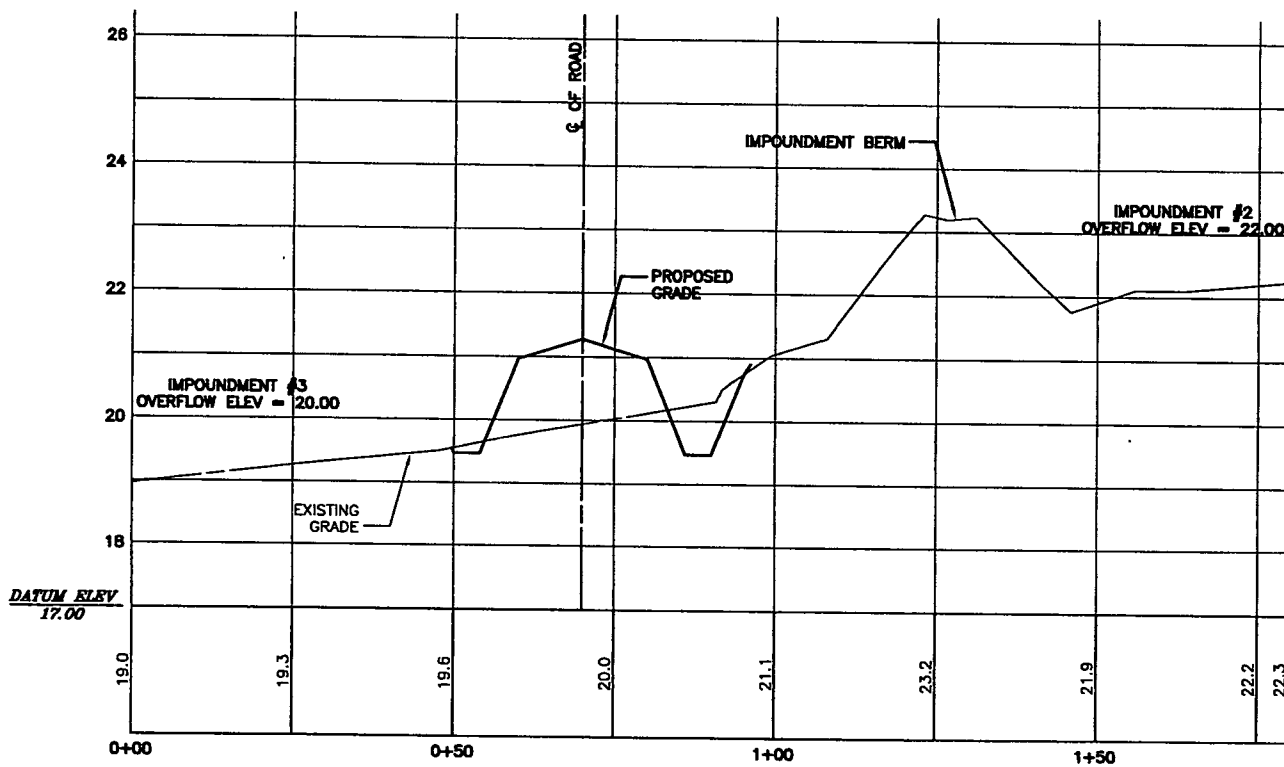


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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0332, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



STA 23+00 CROSS SECTION
 SCALE: 1" = 3' VERTICAL
 1" = 30' HORIZONTAL




STA 24+00 CROSS SECTION
 SCALE: 1" = 3' VERTICAL
 1" = 30' HORIZONTAL

LIBER 2279 FOLIO 332

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 43

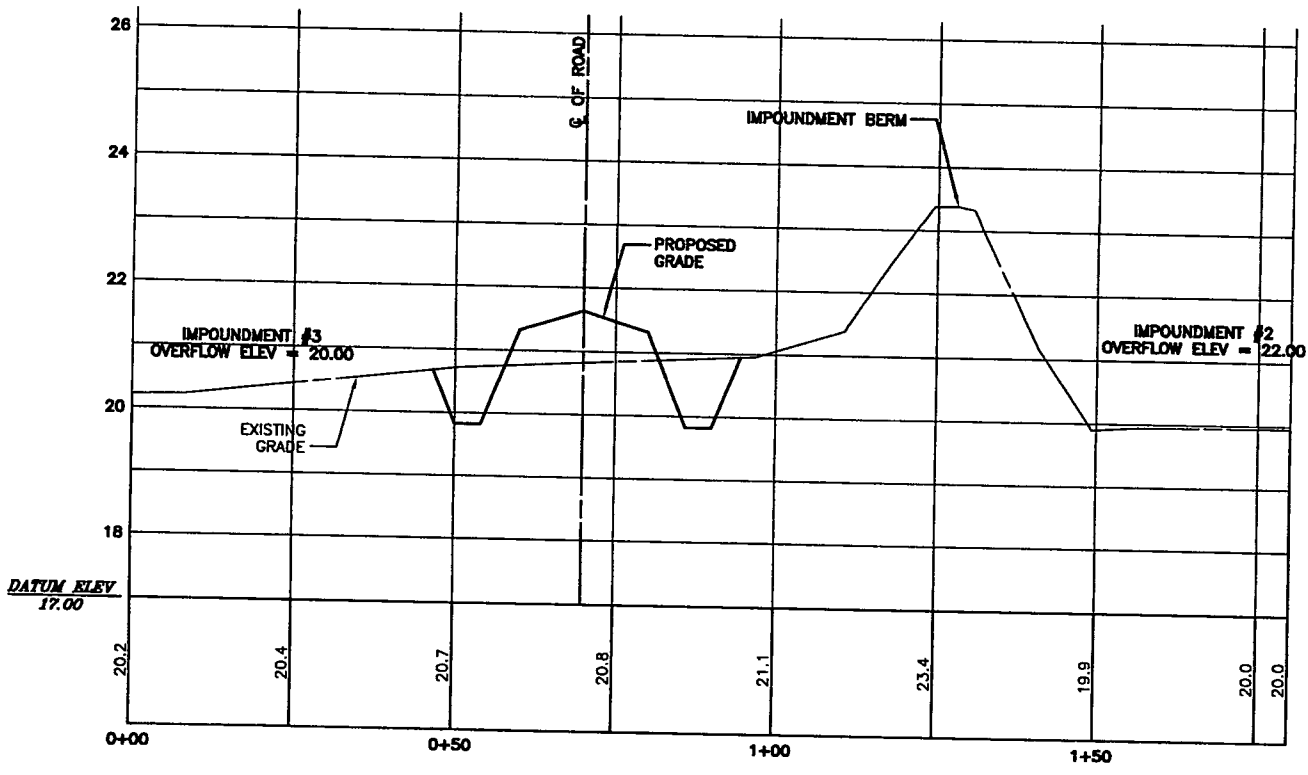
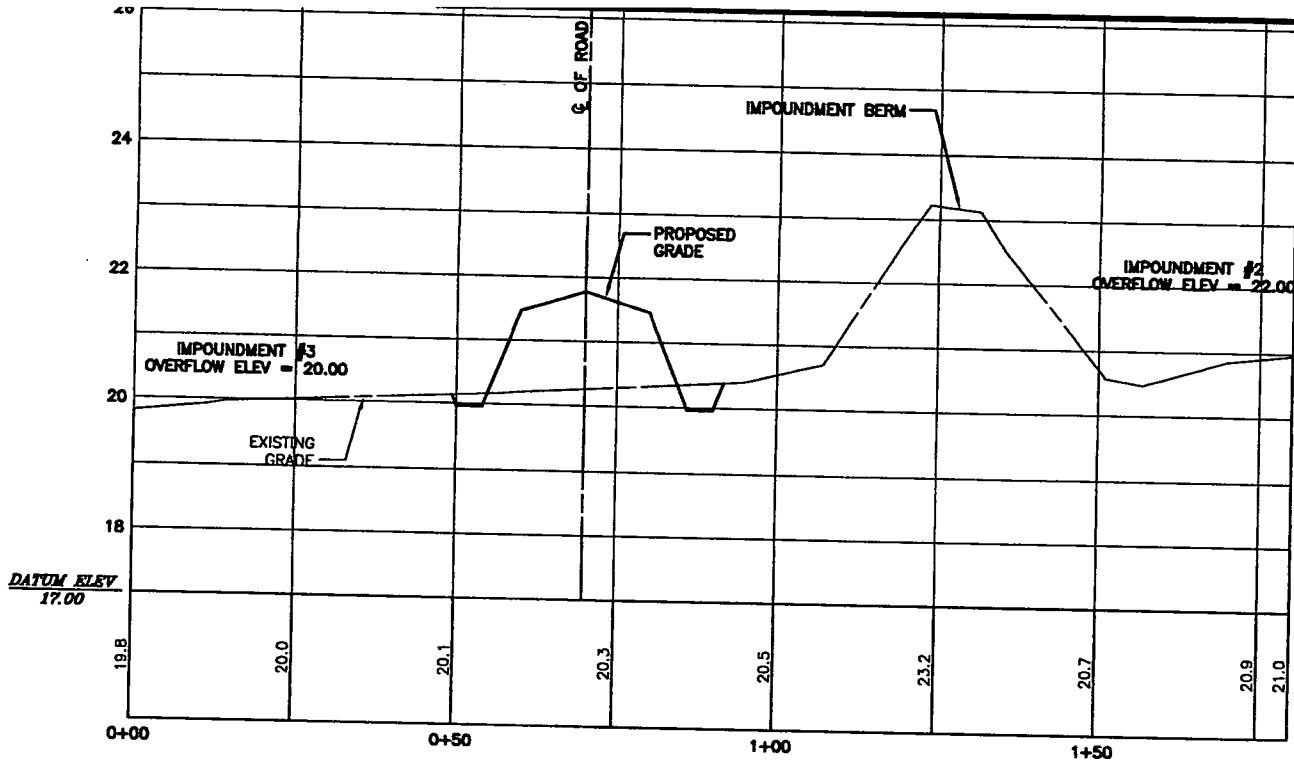
PINEY POINT LANE CROSS SECTIONS
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0333, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



LIBER 2279 FOLIO 333

PINEY POINT LANE CROSS SECTIONS
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

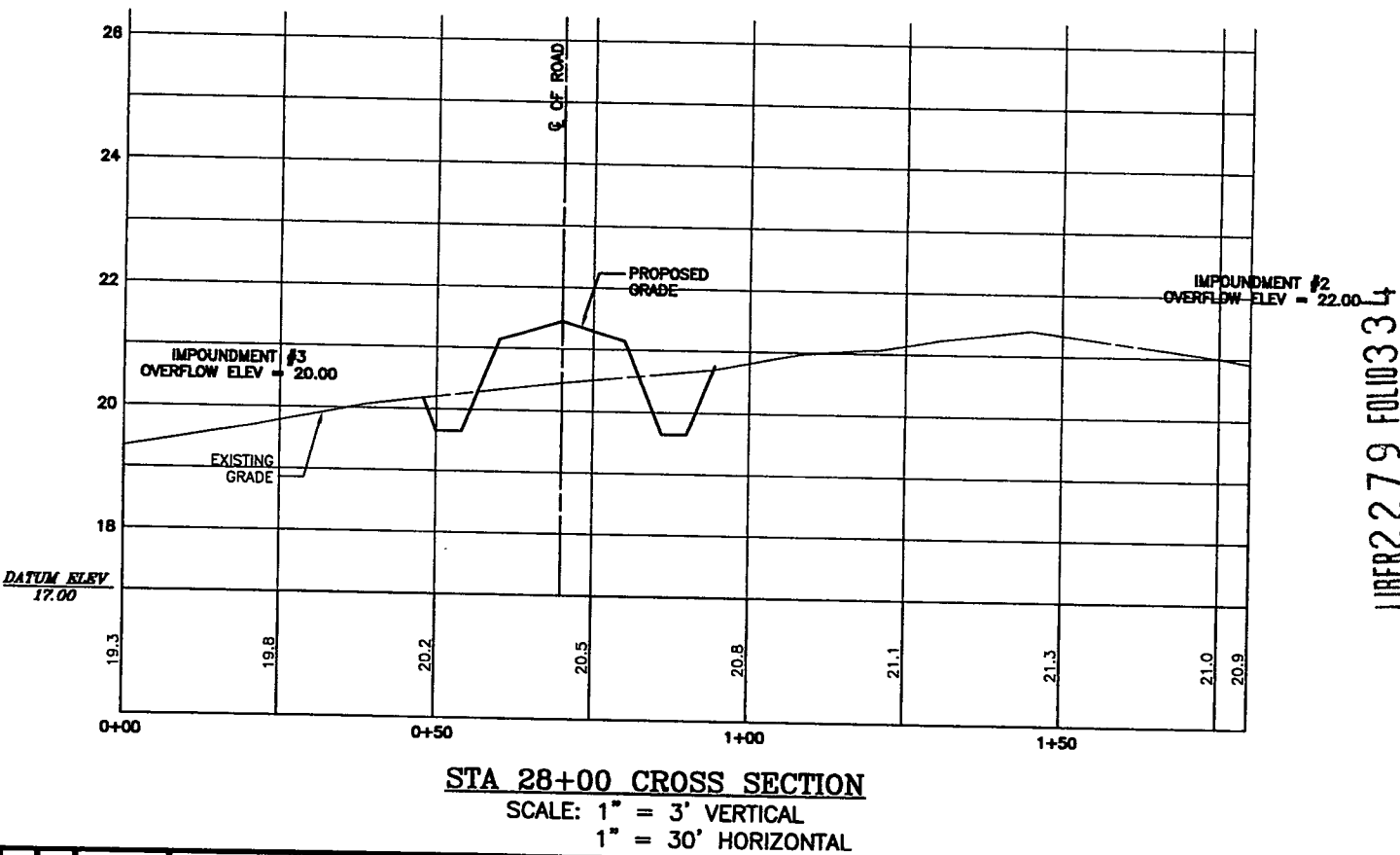
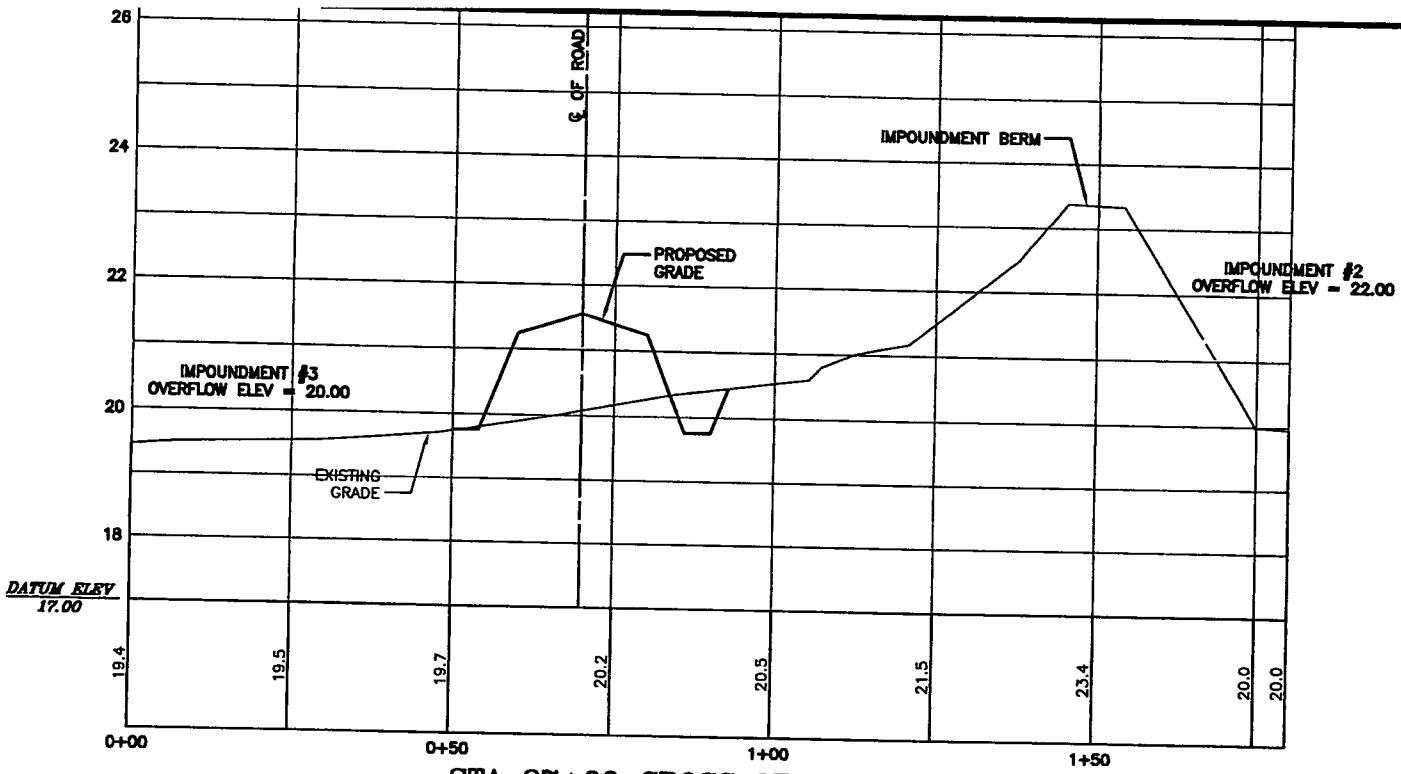
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SHEET No. **44**

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295


TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0334, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



LIBER 2279 FOLIO 334

PINEY POINT LANE CROSS SECTIONS
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

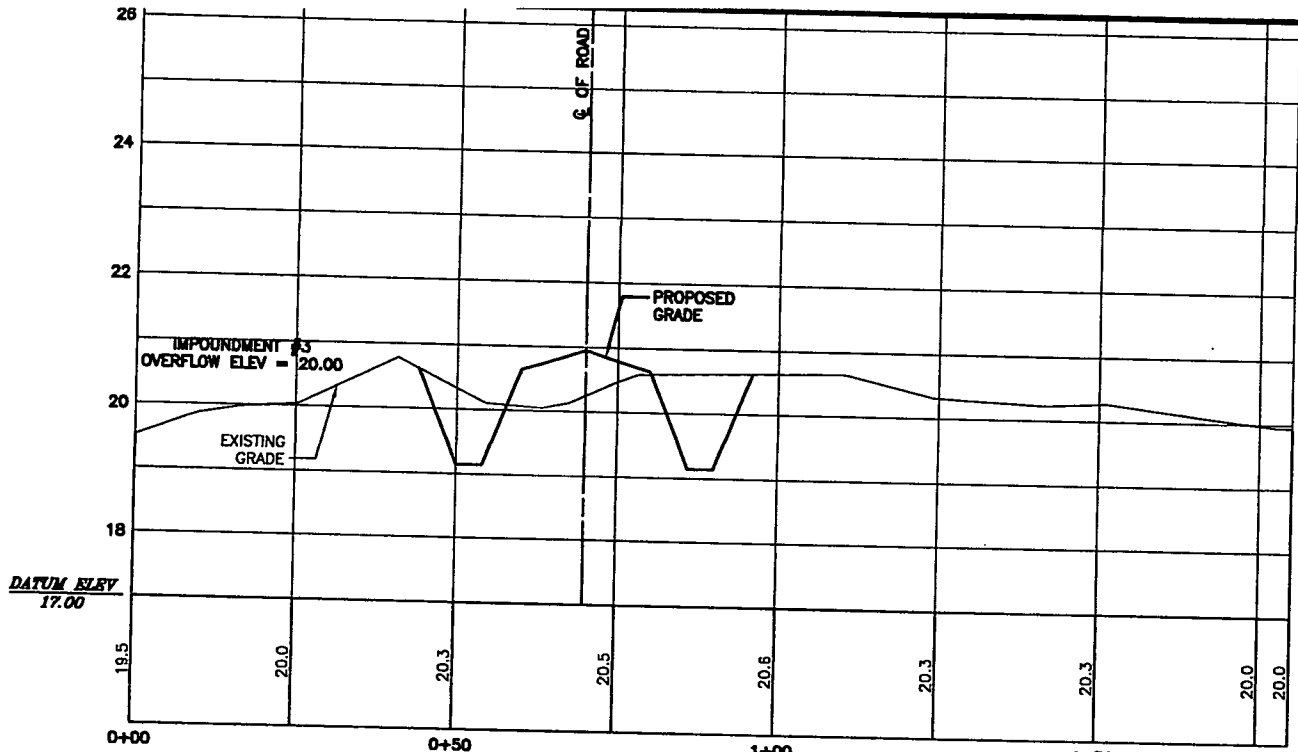
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SHEET No. **45**
 DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0335, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



STA 29+00 CROSS SECTION
 SCALE: 1" = 3' VERTICAL
 1" = 30' HORIZONTAL

LIBER 2279 FOLIO 335

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

PINEY POINT LANE CROSS SECTIONS
EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM
 TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

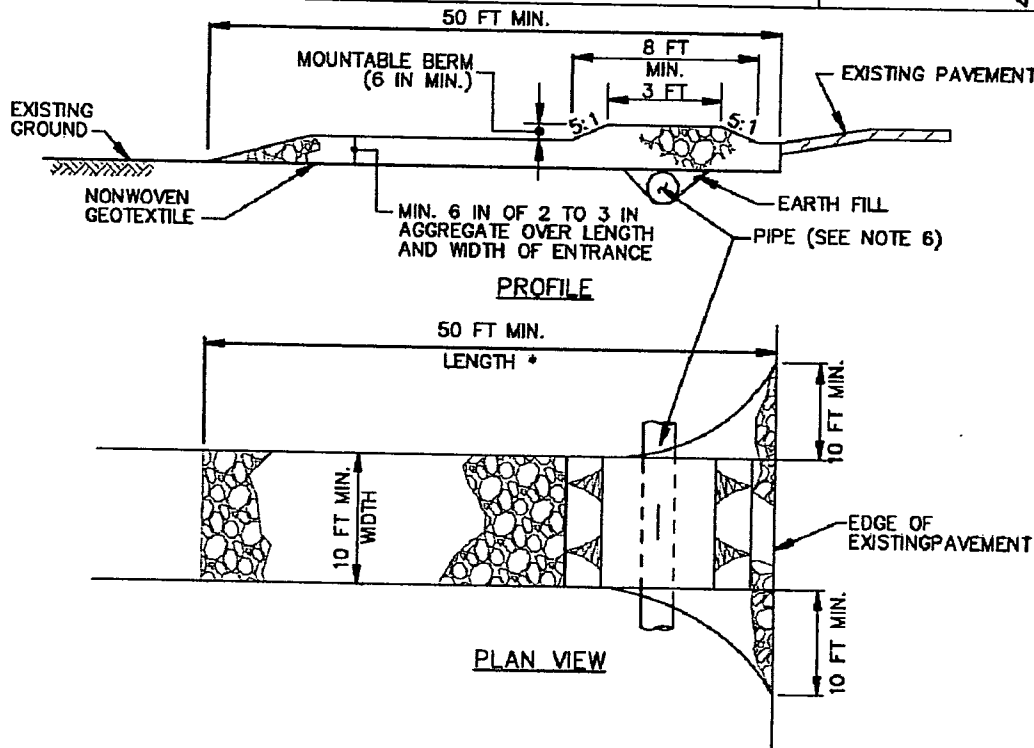
Lane Engineering, LLC
 Established 1986
 Civil Engineers • Land Planning • Land Surveyors



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 15 Washington St. Cambridge, MD 21613 (410) 221-0818
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DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL



CONSTRUCTION SPECIFICATIONS

1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
--	------	---

B.2

LIBER 2279 FOLIO 336

SEDIMENT & EROSION CONTROL DETAILS

EXHIBIT A
PRIVATE ROAD DESIGN FOR
PINEY POINT FARM

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

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SHEET No. 47
DATE: 12/18/2014
SCALE: AS NOTED
JOB No. 100237
FILE No. A295

Date: 12/04/2014 - 2:18pm User: jcarroll
XREF File(s): GBS-8.5X11-BASE-100237

Project Manager: WBS

Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-GOT-PLTS-100237.dwg

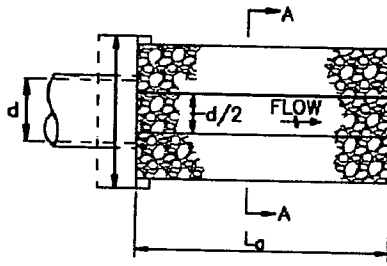
TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0336, MSA CE91 2218, Date available 07/27/2015. Printed 04/27/2023.

DETAIL D-4-1-B ROCK OUTLET PROTECTION II

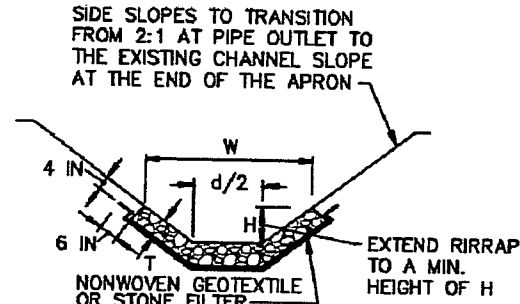
STANDARD SYMBOL

ROPII

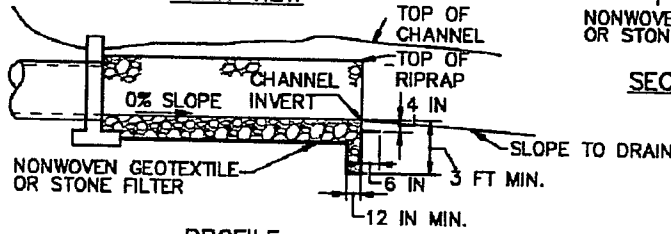
DISCHARGE TO CONFINED CHANNEL SECTION



PLAN VIEW



SECTION A-A



PROFILE

RIPRAP	
CLASS	THICKNESS (T)
I	19 IN
II	32 IN
III	46 IN

CONSTRUCTION SPECIFICATIONS

1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
3. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (3/8 TO 1 1/2 INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
4. EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
5. CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
6. WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
7. CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
8. MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

D.21

LIBER2279 FOLIO337

SEDIMENT & EROSION CONTROL DETAILS

EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
Civil Engineers • Land Planning • Land Surveyors



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FILE No. A295
JOB No. 100237
SCALE: AS NOTED
DATE: 12/18/2014

48

SHEET No.

Date: 12/04/2014 - 2:18pm User: jcarroll
XREF File(s): GBS-8.5X11-BASE-100237

Project Manager: WBS

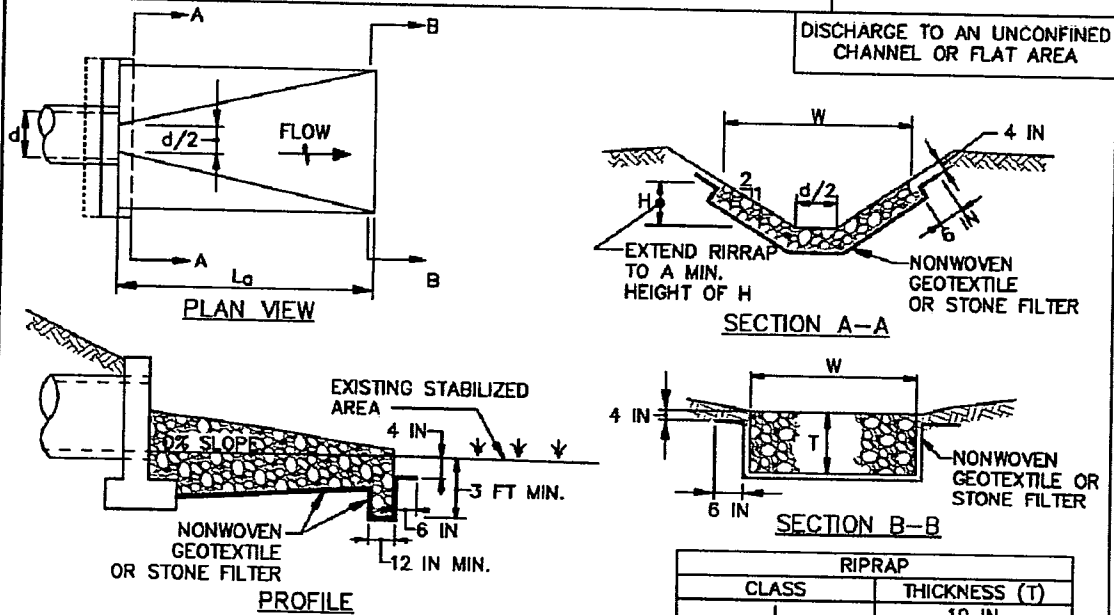
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TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0337, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

DETAIL D-4-1-C ROCK OUTLET PROTECTION III

STANDARD SYMBOL

ROPIII



DISCHARGE TO AN UNCONFINED CHANNEL OR FLAT AREA

RIPRAP	
CLASS	THICKNESS (T)
I	19 IN
II	32 IN
III	46 IN

CONSTRUCTION SPECIFICATIONS

1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
2. USE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
3. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER ($\frac{3}{8}$ TO $1\frac{1}{2}$ INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
4. EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
5. CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
6. WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
7. CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
8. MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

D.22

LIBER 2279 FOLIO 338

SEDIMENT & EROSION CONTROL DETAILS

EXHIBIT A

PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

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SHEET No. **49**

DATE: 12/18/2014

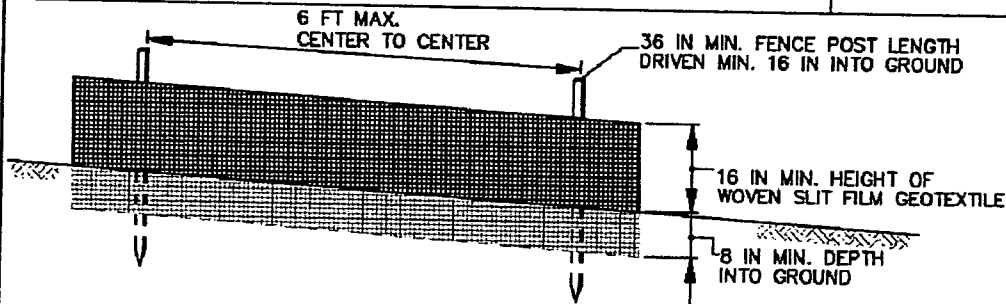
SCALE: AS NOTED

JOB No. 100237

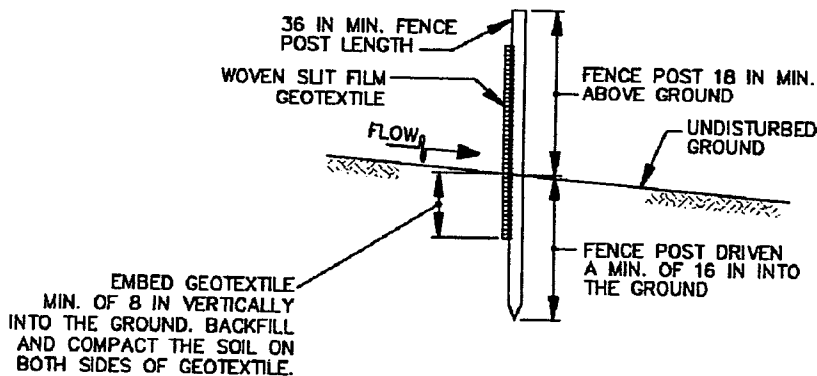
FILE No. A295

DETAIL E-1 SILT FENCE

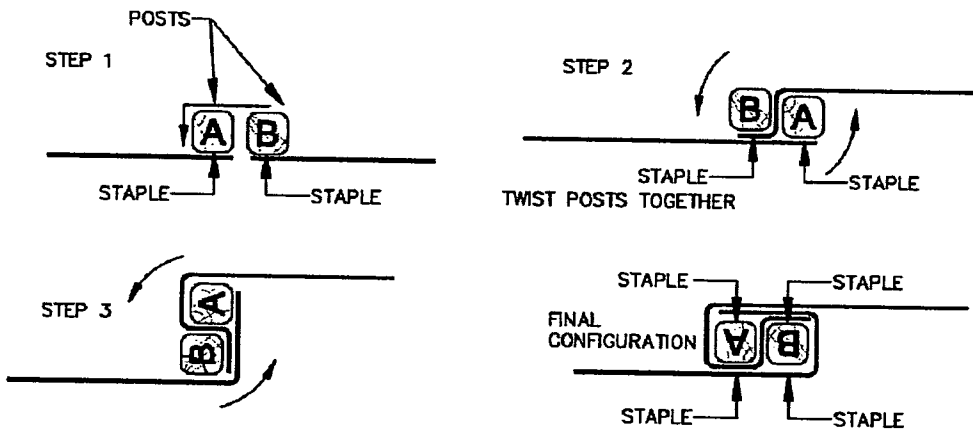
STANDARD SYMBOL



ELEVATION



CROSS SECTION



JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW)

1 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

E.2

LIBER 2279 FOLIO 339

SEDIMENT & EROSION CONTROL DETAILS

EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
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FILE No. A295
JOB No. 100237
SCALE: AS NOTED
DATE: 12/18/2014
SHEET No. 50

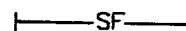
Date: 12/04/2014 - 2:18pm User: jcarroll
XREF File(s): GBS-8.5X11-BASE-100237

Project Manager: WBS

Drawing Path: J:\2010\0200\100237\CadData\Dwg\RD-GDT-PLTS-100237.dwg

DETAIL E-1 SILT FENCE

STANDARD SYMBOL



CONSTRUCTION SPECIFICATIONS

1. USE WOOD POSTS $1\frac{3}{4} \times 1\frac{3}{4} \pm \frac{1}{8}$ INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
3. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

2 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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E.3

LIBER 2279 FOLIO 340

SEDIMENT & EROSION CONTROL DETAILS

EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM

TALBOT COUNTY, MARYLAND
TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
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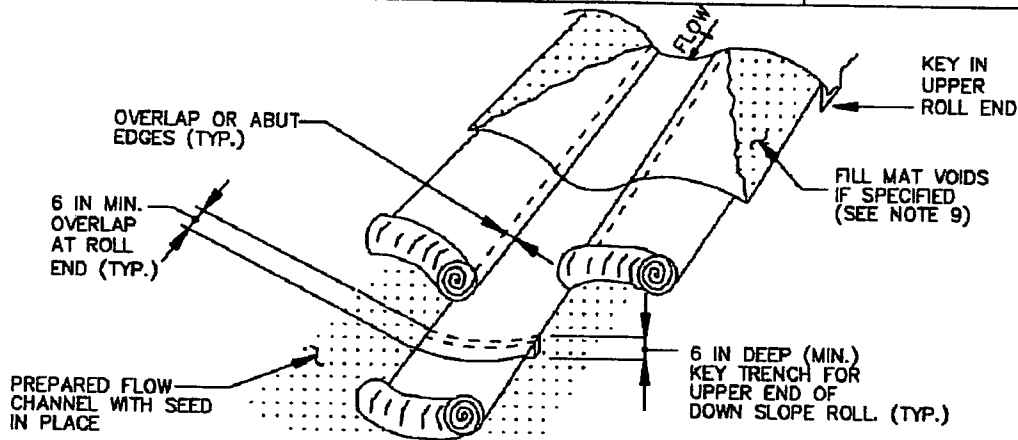
SHEET No.

51

DATE: 12/18/2014
SCALE: AS NOTED
JOB No. 100237
FILE No. A295

DETAIL B-4-6-C PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION

STANDARD SYMBOL
 PSSMC - * lb/ft²
 (* INCLUDE SHEAR STRESS)



CONSTRUCTION SPECIFICATIONS: ISOMETRIC VIEW

1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
3. SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS. UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
5. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
6. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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B.40

LIBER 2279 FOLIO 341

SEDIMENT & EROSION CONTROL DETAILS

**EXHIBIT A
 PRIVATE ROAD DESIGN FOR
 PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
 Civil Engineers • Land Planning • Land Surveyors



E-mail: mail@lane.com
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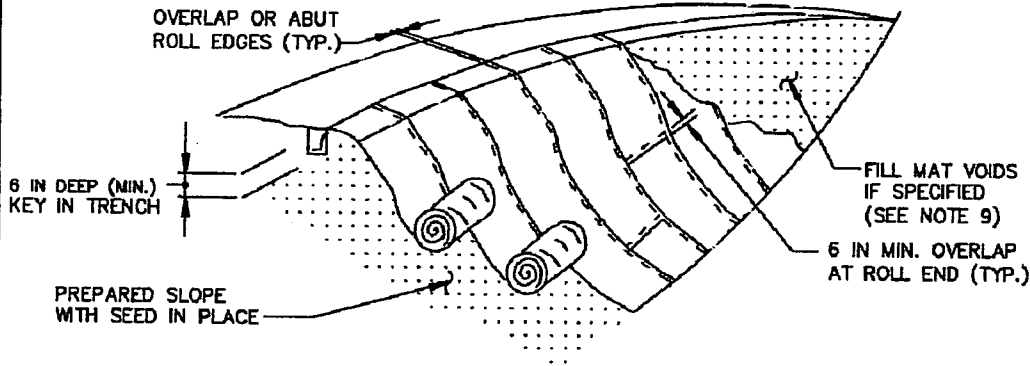
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SHEET No. 52

DATE: 12/18/2014
 SCALE: AS NOTED
 JOB No. 100237
 FILE No. A295

DETAIL B-4-6-D PERMANENT SOIL STABILIZATION MATTING SLOPE APPLICATION

STANDARD SYMBOL
 PSSMS - * lb/ft²
 (* INCLUDE SHEAR STRESS)



ISOMETRIC VIEW

CONSTRUCTION SPECIFICATIONS

1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
3. SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
5. UNROLL MATTING DOWN SLOPE. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
6. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
 NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

B.41

LIBER 279 FOLIO 342

SEDIMENT & EROSION CONTROL DETAILS

**EXHIBIT A
 PRIVATE ROAD DESIGN FOR
 PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
 Civil Engineers • Land Planning • Land Surveyors



E-mail: mail@leinc.com
 117 Bay St. Easton, MD 21601 (410) 822-8003
 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

SHEET No. 53

DATE: 12/18/2014

SCALE: AS NOTED

JOB No. 100237

FILE No. A295

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0342, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO ANY GRADING. FOLLOWING INITIAL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES GREATER THAN (3) HORIZONTAL TO (1) VERTICAL (3:1) AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PROVIDED AS INDICATED ON THIS PLAN, WITH LOCATION ADJUSTMENTS TO BE MADE IN THE FIELD AS NECESSARY, AND TO BE MAINTAINED AT THE END OF EACH WORKING DAY UNTIL PROJECT COMPLETION. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMAL AMOUNT OF TIME POSSIBLE.
- CLEARING AND GRUBBING SHALL INCLUDE ALL TREES, BRUSH, DEBRIS, ROOT MAT AND ORGANIC MATERIAL TO BE REMOVED.
- TEMPORARY SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH OR AUGUST 15TH THROUGH NOVEMBER 30TH. DURING OTHER TIMES, TEMPORARY MULCHING SHALL BE PROVIDED.
- TEMPORARY SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: 436 LBS PER ACRE OF 10-20-20; 4,000 LBS PER ACRE OF GROUND LIMESTONE, TO BE INCORPORATED INTO THE SOIL BY DISKING OR OTHER SUITABLE MEANS. ANNUAL RYE GRASS SHALL BE APPLIED AT A RATE OF 50 LBS PER ACRE USING SUITABLE EQUIPMENT. MULCHING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER SEEDING.

TEMPORARY SEEDING SCHEDULE:

Seed Mixture (Hardiness Zone 7a)					Fertilizer Rate (10-20-20)	Lime Rate
(From Table B.1)						
No.	Species	Appl. Rate (lbs/ac)	Seeding Dates	Seeding Depths		
	Annual Rye grass	50#	2/15-4/30 / 8/15-11/30	1/2"	Rate (436 lbs/ac) (10 lbs/ 1000 sf)	2 tons/ac (90 lbs/ 1000 sf)
	Barley	96#	2/15-4/30 / 8/15-11/30	1"		
	Oats	72#	2/15-4/30 / 8/15-11/30	1"		
	Wheat	120#	2/15-4/30 / 8/15-11/30	1"		
	Cereal Rye	112#	2/15-4/30 / 8/15-12/15	1"		
	Foxtail Millet	30#	5/1-8/14	1/2"		
	Pearl Millet	20#	5/1-8/14	1/2"		

- MULCHING SHALL BE UNCHOPPED, UNROTTED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2-2 1/2 TONS PER ACRE. ANCHOR MULCH WITH A MULCH ANCHORING TOOL ON THE CONTOUR. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW AT A RATE OF 750 LBS PER ACRE MIXED WITH WATER AT A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALS. OF WATER, OR WITH SYNTHETIC LIQUID BINDER ACCORDING TO MANUFACTURER RECOMMENDATIONS. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1,500 LBS PER ACRE. MIX WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALS. OF WATER.

LIBER 279 FOLIO 343

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0343, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	SHEET No. 54	SEDIMENT & EROSION CONTROL NOTES EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095
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7. PERMANENT SEEDING SHALL BE ACCOMPLISHED BETWEEN MARCH 1ST THROUGH MAY 15TH, OR AUGUST 15TH THROUGH OCTOBER 15TH. PERMANENT SEEDING AT OTHER THAN SPECIFIED TIMES WILL BE ALLOWED ONLY UPON WRITTEN APPROVAL. PERMANENT SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: PERMANENT SEEDING FOR SITES HAVING DISTURBED OVER (5) ACRES SHALL USE FERTILIZER RATES RECOMMENDED BY A SOIL TESTING AGENCY AND THE RECOMMENDATIONS PROVIDED IN THE PERMANENT SEEDING SUMMARY TABLE. PERMANENT SEEDING FOR CONDITIONS OTHER THAN LISTED ABOVE SHALL BE PERFORMED AT THE RATES AND DATES AS PROVIDED IN THE PERMANENT SEEDING SUMMARY TABLE BELOW. FERTILIZER AND LIME AMENDMENTS SHALL BE INCORPORATED INTO THE TOP 3" TO 5" OF THE SOIL BY DISKING OR OTHER SUITABLE MEANS. MULCHING SHALL BE ACCOMPLISHED AS DISCUSSED IN ITEM NO. 6 OF THESE SPECIFICATIONS.


PERMANENT SEEDING SCHEDULE:

Seed Mixture (Hardiness Zone 7a) (From Table B.3)					Fertilizer Rate (10-20-20)			Lime Rate
NO	Species	Application Rate (lbs/ac)	Seeding Dates	Seeding Depths	N	P205	K20	
7	Creeping Red Fescue Kentucky Bluegrass	60# 15#	3/1 to 5/15 or 8/15 to 10/15	1/4"-1/2"	45 lbs/ac (1 lbs/ 1000 sf)	90 lbs/ac (2 lbs/ 1000 sf)	90 lbs/ac (2 lbs/ 1000 sf)	2 tons/ac (90 lbs/ 1000 sf)
8	Tall Fescue	100#	3/1 to 5/15 or 8/15 to 10/15	1/4"-1/2"				
9	Tall Fescue Kentucky Bluegrass Perennial Ryegrass	60# 40# 20#	3/1 to 5/15 or 8/15 to 10/15	1/4"-1/2"				

8. ANY SPOIL OR BORROW WILL BE PLACED AT A SITE APPROVED BY THE SOIL CONSERVATION DISTRICT.
9. ALL AREAS REMAINING OR INTENDED TO REMAIN DISTURBED FOR LONGER THAN SEVEN (7) DAYS SHALL BE STABILIZED IN ACCORDANCE WITH THE USDA, NATURAL RESOURCES CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS FOR CRITICAL AREA STABILIZATION.
10. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY OF SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

LIBER 2279 FOLIO 344

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0344, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.


SHEET No. 55	SEDIMENT & EROSION CONTROL NOTES EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095
DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	Date: 12/04/2014 - 2:18pm User: jcarroll Project Manager: WBS XREF File(s): GBS-8.5X11-BASE-100237 Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-GDT-PLTS-100237.dwg	© LANE ENGINEERING, LLC

SEQUENCE OF CONSTRUCTION

1. CONTACT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AT (410)901-4020, TALBOT SOIL CONSERVATION DISTRICT (410)822-1577, TALBOT COUNTY DEPARTMENT OF PUBLIC WORKS AT (410) 770-8170, AND LANE ENGINEERING, LLC AT (410)822-8003, TWO WEEKS PRIOR TO START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
2. CLEAR ONLY FOR, AND INSTALL, SOIL EROSION AND SEDIMENT CONTROL MEASURES; SILT FENCE (SF) AND STABILIZED CONSTRUCTION ENTRANCE (SCE), PER THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
3. REMOVE AND STOCKPILE TOPSOIL AS NEEDED FOR RE-USE ON SITE.
4. PERFORM EXCAVATION AND SITE GRADING TO SUBGRADE.
5. CONSTRUCT ROAD AND CULVERTS WITH EROSION CONTROL MATTING ON DITCHES AND SLOPES AND ROCK OUTLET PROTECTION AT CULVERTS PER PLAN.
6. FINE GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS.
7. ONCE THE SITE IS FULLY STABILIZED, AND THROUGH COORDINATION AND APPROVAL OF THE MARYLAND DEPARTMENT OF THE ENVIRONMENT INSPECTOR, REMOVE ALL REMAINING TEMPORARY SEDIMENT CONTROL MEASURES. GRADE AND SEED ANY RESULTING DISTURBED AREAS.

LIBER 2279 FOLIO 345

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0345, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

FILE NO. A295 JOB NO. 100237 SCALE: AS NOTED DATE: 12/18/2014 SHEET NO. 56	SEDIMENT & EROSION CONTROL NOTES EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095 © LANE ENGINEERING, LLC
Date: 12/04/2014 - 2:18pm User: jearroll Project Manager: WBS Drawing Path: J:\2010\0200\100237\CadData\Dwg\RD-GDT-PLTS-100237.dwg		

SOIL CONSERVATION DISTRICT INFORMATION

SOIL TYPES:

MAP SYMBOL	SOILS NAME	SOIL GROUP
CsA	CROSIADORE SILT LOAM	C
EmA	ELKTON SILT LOAM	D
FaA	FALLSINGTON SANDY LOAM	C
FgA	FALLSINGTON LOAM	C
HbA	HAMBROOK SANDY LOAM	B
HfA	HAMBROOK--SASSAFRAS COMPLEX	B
HfB	HAMBROOK--SASSAFRAS COMPLEX	B
HfC	HAMBROOK--SASSAFRAS COMPLEX	B
LgA	LENNI LOAM	D
MtA	MATTAPEX SILT LOAM	C
TP	TRANSQUAKING AND MISPELLION SOILS	D
WdA	WOODSTOWN SANDY LOAM	C
WoA	WOODSTOWN LOAM	C
Zk	ZEKIAH	D

LIMIT OF DISTURBANCE AREA = 6.354 AC.±
 ESTIMATED VOLUME OF CUT = 560 CY±
 ESTIMATED VOLUME OF FILL = 4,060 CY±

CUT AND FILL VOLUME INFORMATION IS FOR SOIL EROSION AND SEDIMENT CONTROL APPROVAL ONLY. CONTRACTOR SHALL PERFORM HIS OWN EARTHWORK VOLUME COMPUTATION FOR ESTIMATING OR BIDDING PURPOSES.

LIBER 2279 FOLIO 346

SEDIMENT & EROSION CONTROL NOTES

**EXHIBIT A
 PRIVATE ROAD DESIGN FOR
 PINEY POINT FARM**

TALBOT COUNTY, MARYLAND
 TAX MAP 48, GRID 16, PARCEL 49

Lane Engineering, LLC

Established 1986
 Civil Engineers • Land Planning • Land Surveyors

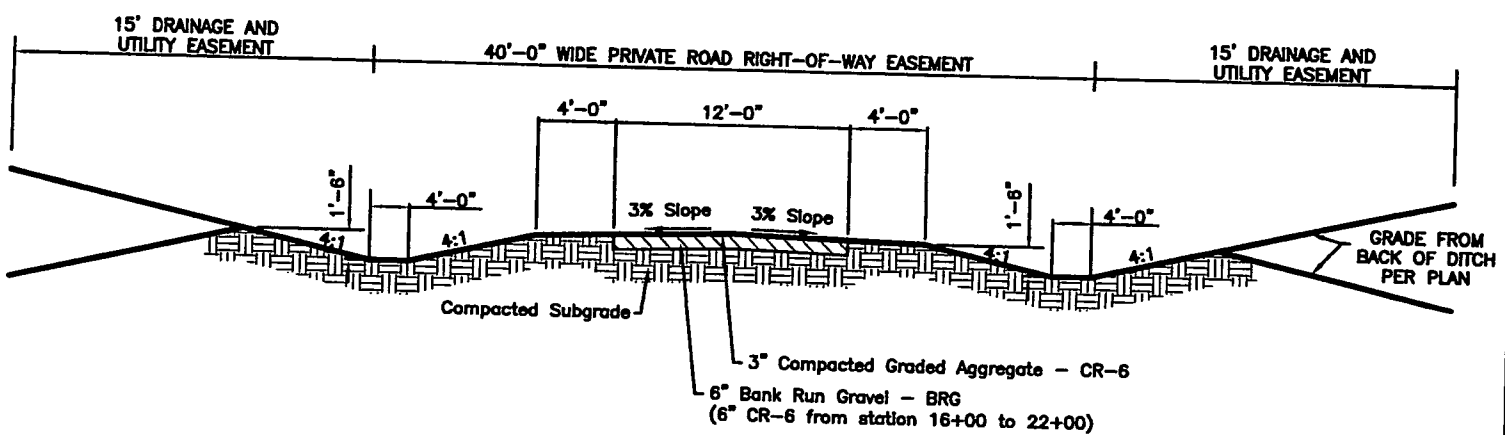


E-mail: mail@leinc.com
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 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0346, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.

FILE No. A295
 JOB No. 100237
 SCALE: AS NOTED
 DATE: 12/18/2014
 SHEET No. 57

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0347, MSA_CE91_2218. Date available 07/27/2015. Printed 04/27/2023.



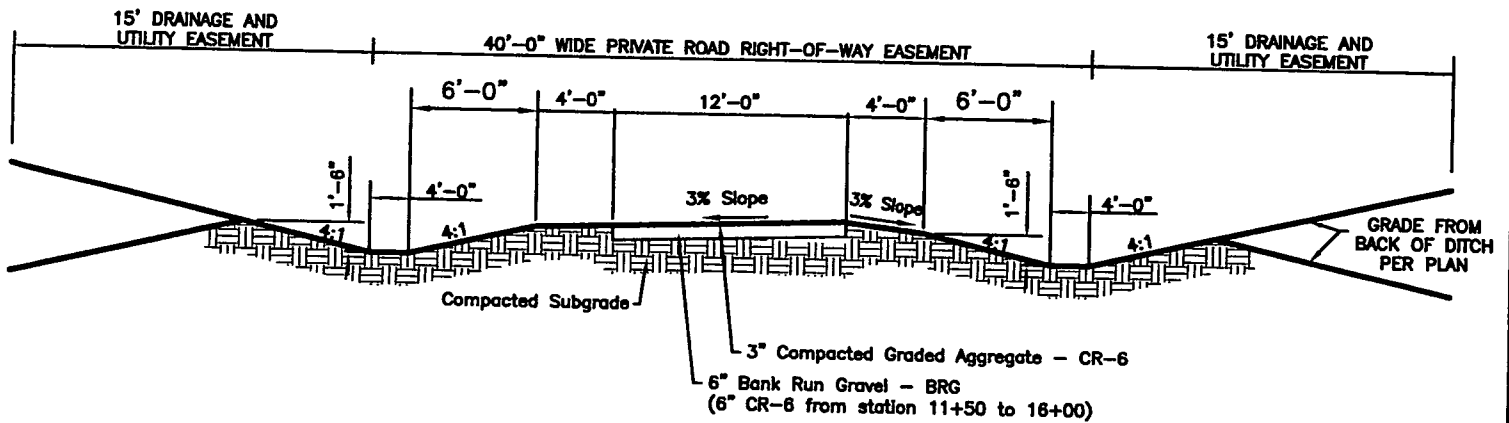
- NOTES:**
1. PROVIDE 4" MIN. TOPSOIL, FERTILIZE, SEED & MULCH ALL DISTURBED AREAS ON BOTH SIDES. INSTALL EROSION AND CONTROL MATTING TO DITCH BOTTOM AND ON SIDE SLOPES.
 2. THE CONTRACTOR SHALL PROVIDE AN APPROVED COMPACTED SUBGRADE PRIOR TO THE PLACEMENT OF ANY FILL MATERIALS.
 3. THE SUBGRADE SHALL BE UNDERCUT AS NEEDED WITH THE PRIOR APPROVAL OF THE OWNER, AND BACKFILLED WITH APPROVED STRUCTURAL FILL.
 4. THE SUBGRADE IS TO BE INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE BANK RUN GRAVEL BASE.
 5. ALL FILL MATERIALS SHALL BE PLACED IN LIFTS NO GREATER THAN 8" AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557).
 6. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE COMPLETION OF THE BUILDINGS (IF APPLICABLE).
 7. THE GRAVEL/AGGREGATE PAVEMENT SECTION REFLECTS THE TALBOT COUNTY STANDARD SECTION FOR PRIVATE ROADWAYS. IT IS PROVIDED IN THE ABSENCE OF A SPECIFIC GEOTECHNICAL EVALUATION. DEVELOPER IS ADVISED TO HAVE A QUALIFIED GEOTECHNICAL ENGINEER EVALUATE SITE CONDITIONS AND EVALUATE THE ADEQUACY OF THIS RECOMMENDED PAVING SECTION AND SPECIFICATION.
 8. SEE PLAN AND PROFILE SHEETS AND ROAD CONSTRUCTION NOTES FOR ROAD SEGMENTS WITHOUT ROADSIDE DITCHES.

**PRIVATE ROAD WITH CENTER CROWN &
FLAT BOTTOM DITCHES CROSS SECTION**
NOT TO SCALE

LIBER 2279 FOLIO 347

SHEET No. 58	DETAILS		<p align="center">Lane Engineering, LLC</p> <p align="center">Established 1986 Civil Engineers • Land Planning • Land Surveyors</p>  <p align="center">E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095</p>
	<p align="center">EXHIBIT A</p> <p align="center">PRIVATE ROAD DESIGN FOR</p> <p align="center">PINEY POINT FARM</p> <p align="center">TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49</p>		
DATE: 12/18/2014	SCALE: AS NOTED	JOB No. 100237	<p>Date: 12/04/2014 - 2:18pm User: jcarroll XREF File(s): GBS-8.5X11-BASE-100237 Project Manager: WBS Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-GDT-PLTS-100237.dwg</p>

TALBOT COUNTY CIRCUIT COURT (Land Records) MAS 2279, p. 0348, MSA CE91 2218. Date available 07/27/2015. Printed 04/27/2023.




NOTES:

1. PROVIDE 4" MIN. TOPSOIL, FERTILIZE, SEED & MULCH ALL DISTURBED AREAS ON BOTH SIDES. INSTALL EROSION AND CONTROL MATTING TO DITCH BOTTOM AND ON SIDE SLOPES.
2. THE CONTRACTOR SHALL PROVIDE AN APPROVED COMPACTED SUBGRADE PRIOR TO THE PLACEMENT OF ANY FILL MATERIALS.
3. THE SUBGRADE SHALL BE UNDERCUT AS NEEDED WITH THE PRIOR APPROVAL OF THE OWNER, AND BACKFILLED WITH APPROVED STRUCTURAL FILL.
4. THE SUBGRADE IS TO BE INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE BANK RUN GRAVEL BASE.
5. ALL FILL MATERIALS SHALL BE PLACED IN LIFTS NO GREATER THAN 8" AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557).
6. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE COMPLETION OF THE BUILDINGS (IF APPLICABLE).
7. THE GRAVEL/AGGREGATE PAVEMENT SECTION REFLECTS THE TALBOT COUNTY STANDARD SECTION FOR PRIVATE ROADWAYS. IT IS PROVIDED IN THE ABSENCE OF A SPECIFIC GEOTECHNICAL EVALUATION. DEVELOPER IS ADVISED TO HAVE A QUALIFIED GEOTECHNICAL ENGINEER EVALUATE SITE CONDITIONS AND EVALUATE THE ADEQUACY OF THIS RECOMMENDED PAVING SECTION AND SPECIFICATION.
8. SEE PLAN AND PROFILE SHEETS AND ROAD CONSTRUCTION NOTES FOR ROAD SEGMENTS WITHOUT ROADSIDE DITCHES.

**PRIVATE ROAD WITH NO CENTER CROWN,
SUPER-ELEVATED TO THE LEFT &
FLAT BOTTOM DITCHES CROSS SECTION
NOT TO SCALE**

LIBER 2279 FOLIO 348

SHEET No. 59	DETAILS EXHIBIT A PRIVATE ROAD DESIGN FOR PINEY POINT FARM TALBOT COUNTY, MARYLAND TAX MAP 48, GRID 16, PARCEL 49	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: mail@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095
DATE: 12/18/2014 SCALE: AS NOTED JOB No. 100237 FILE No. A295	Date: 12/04/2014 - 2:18pm User: jcarroll Project Manager: WBS Drawing Path: J:\2010\0200\100237\CadData\Draw\RD-GDT-PLTS-100237.dwg XREF File(s): GBS-8.5X11-BASE-100237 © LANE ENGINEERING, LLC	

Mary Ann Shortall, Clerk
Circuit Court For Talbot County
11 N. Washington St., Suite 16
Easton, Maryland 21601

License and Recording
(410) 822-2611 Ext. 4

LR - Covenant Recording
Fee 75.00
Declarant Name: delahay
family
Reference/Control #: 2279/283
LR - Covenant Surcharge 40.00
=====
SubTotal: 115.00
=====
Total: 520.00
07/22/2015 11:20
CC20-DR
#4574275 CC0205 -
Talbot
County/CC02.05.01 -
Register 01

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